



ALMOND BLOSSOMS SCHOOLHOUSE

235 LAKE STREET
ST. ALBANS, VERMONT



CIVIL/STRUCTURAL:
CROSS CONSULTING ENGINEERS
802-524-2113
103 Fairfax Road
St. Albans, VT 05478

ARNOLD & SCANGAS
ARCHITECTS
802-782-8241
The Loft at One Federal
1 Federal St. Suite 201
P.O. Box 135
St. Albans, Vermont 05478

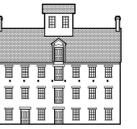
ELECTRICAL/MECHANICAL:
ENGINEERING SERVICES
OF VERMONT, LLC
802-855-8091
9 Washington St.
Rutland, Vermont 05701

CODE ANALYSIS

Occupancy	2015 NFPA 101 LIFE SAFETY CODE: HISTORIC REHABILITATION - MODIFICATION (CH. 43) EXISTING DAYCARE (CH. 17) NEW DAYCARE (CH. 14)	Number of Exits	Not less than two separate exits provided on every story. (Ch. 1.2.4.2)
Construction Type	TYPE V (000) COMBUSTIBLE, UNPROTECTED (NFPA 220)	Travel Distance to Exits	No dead-end corridors shall exceed 50 ft. (sprinkled) (Ch. 14.2.5.2 & Ch. 17.2.5.2) Common path of travel shall not exceed 100 ft. (sprinkled) (Ch. 14.2.5.3.1 & 17.2.5.3.1) Travel distance to an exit shall not exceed 200 ft. (sprinkled) (Ch. 14.2.4 & 17.2.4).
Existing Building	2 story, +/- 3,940 S.F. (total square footage of first and second floor) +/- 1,870 S.F. (Basement) +/- 1,970 S.F. (First Floor) +/- 1,970 S.F. (Second Floor)	Means of Egress Illumination	Means of egress shall be illuminated in accordance with NFPA 101 Section 1.8 (Ch. 14.2.8 & 17.2.8)
Change of Use	Where change of occupancy occurs within the same hazard class, the building shall meet both the requirements of applicable existing occupancy and requirements for automatic sprinkler and detection alarm applicable to new construction (Ch. 43.7.2)	Emergency Lighting	Emergency lighting is required at interior stairs and corridors (Ch. 14.2.9 & Ch. 17.2.9)
Sprinkler System	ISR Sprinkler system proposed Portable fire extinguishers required (Ch. 9.9 per Vermont Code)	Marking of Means of Egress	Means of egress shall have signs in accordance with sections 7.10. (Ch. 14.2.10 & Ch. 17.2.10) Exits, other than main exterior exit doors that are clearly identifiable as exits, shall be marked by an approved sign readily visible from any direction of exit access. (Ch. 7.10.2) Exit signs in corridors shall be placed so viewing distances do not exceed 100 ft. (Ch. 7.10.1.5.2)
NFPA 101 Use Group Classification	New/Existing Daycare (Ch. 14 & 17)	Fire Alarm System	A fire alarm system in accordance with Sec. 9.4 shall be provided (Ch. 14.3.4.1 & Ch. 17.3.4.1)
Occupant Load	Daycare: 35 net sq. ft./person (NFPA Table 7.3.1.2) First Floor: 943 +/- net sq. ft. / 35 = 27 Second Floor: 1,228 +/- net sq. ft. / 35 = 35 Total Occupants: 62	Smoke Alarms	A smoke detection system in accordance with section 9.4 shall be installed (Ch. 14.3.4.5 & Ch. 17.3.4.5)
Means of Egress	Door openings - min. 32' clear. Existing stairs shall be permitted to remain in use, provided they meet the requirements below: (Ch. 7.2.2.2.1.(b)) Existing stairs Min. width 36" Max. ht. of risers 8" Min. tread depth 9" Min. headroom 80" Max. ht. between landings 144" Floor levels below the street floor used only for storage, heating, and other service equipment shall have means of egress in accordance with storage occupancy requirements. (Ch. 7)		

LIST OF DRAWINGS

TS	TITLE SHEET
LD	LIST OF DRAWINGS, CODE ANALYSIS, SYMBOLS AND ABBREVIATIONS
C1	OVERALL SITE PLAN
C2	EXISTING CONDITIONS AND DEMO PLAN
C3	SITE AND GRADING PLAN
C4	DETAILS
D1.1	DEMO - FIRST & SECOND FLOOR PLANS
D1.2	DEMO - BASEMENT, ATTIC & ROOF PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	BASEMENT, ATTIC & ROOF PLAN
A2.1	ROOM FINISH SCHEDULE & INTERIOR ELEVATIONS
A3.1	DOOR SCHEDULE & DETAILS
S1.1	BASEMENT LEVEL SUPPORTS
S1.2	SECOND FLOOR LEVEL SUPPORTS
MP1	MECHANICAL AND PLUMBING DEMO PLANS
MP2	MECHANICAL AND PLUMBING FLOOR PLANS
E1	ELECTRICAL DEMO PLANS
E2	ELECTRICAL PLANS



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BLOSSOMS
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ABBREVIATIONS

∠	ANGLE	DWG.(S)	DRAWING(S)	L.A.C.	LEAD ABATEMENT CONTRACTOR	R.O.	ROUGH OPENING
CL	CENTERLINE	ELEC.	ELECTRICAL	LAM.	LAMINATE	S.C.	SOLID CORE
∅	DIAMETER OR ROUND	ELEV.	ELEVATION	MAX.	MAXIMUM	SCHED.	SCHEDULE
AC.	ACOUSTICAL	EP.	ELECTRICAL PANEL	M.D.O.	MEDIUM DENSITY OVERLAY	SECT.	SECTION
ACC.	ACCESSIBLE	E.W.	EACH WAY	MECH.	MECHANICAL	SHT.	SHEET
A.C.T.	ACOUSTICAL CEILING TILE	EX'G.	EXISTING	MFR., MANU.	MANUFACTURER	SIM.	SIMILAR
A.F.F.	ABOVE FINISH FLOOR	EXP.	EXPANSION	MIN.	MINIMUM OR MINUTE	SMC	SEMI-RECESSED MEDICINE CABINET
ALUM.	ALUMINUM	EXT.	EXTERIOR	MIR	MIRROR	S.O.G.	SLAB ON GRADE
ALT.	ALTERNATE	F.C.	FIRE CODE	M.R.	MOISTURE RESISTANT	SPEC.	SPECIFICATION
ANC.(S)	ANCHOR(S)	F.D.	FLOOR DRAIN	MTL.,MET.	METAL	SPL.FIN.	SPECIAL FINISH
A.P.	ACCESS PANEL	FDN.	FOUNDATION	N.A.	NOT APPLICABLE	SQ.	SQUARE
APPROX.	APPROXIMATELY	FE	FIRE EXTINGUISHER	NAT.	NATURAL	S.S.	STAINLESS STEEL
ASSY.	ASSEMBLY	FIN.	FINISH	N.I.C.	NOT IN CONTRACT	ST.	STRIKE
B.B.	BULLETIN BOARD	F.F.	FINISH FLOOR	NO.	NUMBER	STD.	STANDARD
B.C.	BRICK COURSES	FL.	FLOOR	NOM.	NOMINAL	STL.	STEEL
BD.	BOARD	F.O.B.	FACE OF BRICK	N.T.S.	NOT TO SCALE	STOR.	STORAGE
BLDG.,BDG.	BUILDING	FR.	FRAME	O.C.	ON CENTER	STRUC.	STRUCTURE OR STRUCTURAL
BLK.	BLOCK	F.R.	FIRE RATED	O.D.	OUTSIDE DIAMETER	SUSP.	SUSPENDED OR SUSPENSION
BM.	BEAM	FT.	FOOT OR FEET	OH.	OVERHEAD	SWH.	SWITCH
B.O.	BY OWNER	GA.	Gauge	OPG.	OPENING	SYS.	SYSTEM
BRK.	BRICK	GALV.	GALVANIZED	OPP.	OPPOSITE	T.	TREAD
BTW.	BETWEEN	G.C.	GENERAL CONTRACTOR	PART.	PARTITION	TB	TOUPEL BAR
C.	COURSE(S)	GEN.	GENERAL	PL.	PLATE	TEMP.	TEMPERED
CAB.	CABINET	GL.	GLASS	P.LAM.	PLASTIC LAMINATE	T.P.DISP.	TOILET PAPER DISPENSER
CER.	CERAMIC	G.P.	POLYCARBONATE GALZING PLASTIC	PLAS.	PLASTER	TYP.	TYPICAL
C.J.	CONTROL JOINT	G.W.B.	GYPSPUM WALLBOARD	PLUMB.	PLUMBING	U.H.	UNIT HEATER
CLG.	CEILING	GYP.	GYPSPUM	PLYWD.	PLYWOOD	VB	VANITY BASE
CLOS.	CLOSET	H.C.	HANDICAPPED	P.M.	PRESSED METAL	V.C.T.	VINYL COMPOSITION TILE
CLPBDS.	CLAPBOARDS	H.D.	HAND	PNL.	PANEL	VERT.	VERTICAL
C.M.U.	CONCRETE MASONRY UNIT	HDWD.	HARDWOOD	PR.	PRESSURE TREATED	VEST.	VESTIBULE
COL.	COLUMN	H.M.	HOLLOW METAL	P.T.	PAINTED	V.I.F.	VERIFY IN FIELD
CONC.	CONCRETE	H.P.	HIGH POINT	PTD.	PAINTED	W.	WITH
CONST.	CONSTRUCTION	HR.	HOUR	R.	RISER	WD.	WOOD
CONT.	CONTINUOUS	HT.	HEIGHT	RAD.	RADIUS	W.G.	POLISHED WIRE GLASS
CPT.	CARPET	HW	HARDWARE	R.D.	ROOF DRAIN	W.H.	WATER HEATER
C.T.	CERAMIC TILE	I.D.	INSIDE DIAMETER	REF.	REFERENCE	W.O.M	WALK-OFF MAT
DET.	DETAIL	I.H.M.	INSULATED HOLLOW METAL	REFR.	REFRIGERATOR	W.P.	WORKING POINT
D.F.	DRINKING FOUNTAIN	IND.	INDICATOR	REFR.	REFRIGERATOR	W.W.F.	WELDED WIRE FABRIC
DIA.	DIAMETER	INSUL.	INSULATION/INSULATED	REQ.	REQUIREMENT(S)		
DIH.	DIMENSION	INT.	INTERIOR	REQ'D.	REQUIRED		
DISP.	DISPENSER	JAN.	JANITOR	RFE	SEMI-RECESSED FIRE EXTINGUISHER CABINET		
DN.	DOWN	JT.	JOINT	R.L.	ROOF LEADER		
DR.	DOOR	K.O.	KNOCK OUT	RMC	RECESSED MEDICINE CABINET		
				RM.(S)	ROOM(S)		

SYMBOLS

	BUILDING SECTION REFERENCE DRAWING NUMBER
	WALL SECTION/DETAIL REFERENCE DRAWING NUMBER
	DETAIL REFERENCE TO DRAWING REFERENCE DRAWING NUMBER
	INTERIOR ELEVATIONS KEY
	ROOM NUMBER
	DOOR NUMBER
	FLOOR ELEVATION
	WINDOW NUMBER
	DRAWING NOTES

MATERIAL INDICATIONS

	ACOUSTICAL TILE
	ALUMINUM
	BRICK
	CERAMIC TILE
	CONCRETE
	CONCRETE BLOCK/CMU
	CUT STONE
	EARTH
	GLASS
	GRAVEL
	INSULATION-LOOSE FILL, DENSE PACK CELLULOSE, SPRAY FOAM INSULATION
	INSULATION-RIGID
	PLASTER, SAND, GYPSUM WALLBOARD DENSE PACK CELLULOSE
	PLYWOOD
	STEEL
	WOOD-FINISH
	WOOD-ROUGH
	WOOD-BLOCKING

DRAWING TITLE:
CODE ANALYSIS,
LIST OF DRAWINGS,
SYMBOLS
& ABBREVIATIONS

DRAWN BY: HF
DATE: MAY 2020
SCALE: NOT TO SCALE
DRAWING NO:

LD

PROJECT NO: 21904
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Q:\2019 Drawings\19091 Arnold And Scangas- Almond Blossoms, St. Albans\Current\C-1 Overall Site Planning Plotted: 5/15/2020 12:57:35 PM



CITY OF ST. ALBANS ZONING DATA

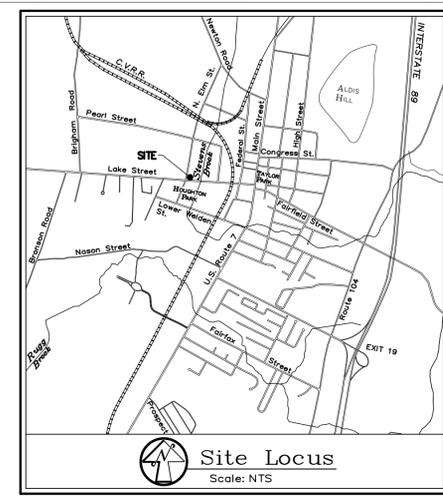
ZONING DISTRICT: Business 1
 DESIGN REVIEW DISTRICT: DR2-Downtown Expansion
 EXISTING LAND USE: Early Education (Preschool)
 PROPOSED LAND USE: Early Education (Preschool)

	Requirements	Proposed
Min. Lot Area	N/A	0.32ac
Min. Lot Width	20 FT	98 Ft
Front Yard Setback	0-10 ft	No Change
Side Yard Setback	0-10 ft	No Change
Rear Yard Setback	0 ft	No Change
Max. Lot Coverage	100%	<70%
Max. Building Height	60 ft	<35 ft

Source: City of St. Albans Land Development Regulations, 2020

Sheet List Table

Sheet Number	Sheet Title
C-1	Overall Site Plan
C-2	Existing Conditions and Demo Plan
C-3	Site and Grading Plan
C-4	Details



GENERAL NOTES

RECORD OF OWNERSHIP
 ALMOND BLOSSOMS SCHOOLHOUSE
 235 LAKE STREET
 ST. ALBANS, VT 05478

TOPOGRAPHY PROVIDED BY:
 CROSS CONSULTING ENGINEERS, P.C.
 103 FAIRFAX ROAD
 ST. ALBANS, VT 05478

- PURPOSE OF PLAN: SHOW IMPROVEMENTS AND RENOVATIONS TO VARIOUS SITE FEATURES.
- PROPERTY LINE INFORMATION GATHERED FROM VERMONT'S ONLINE GIS DATABASE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THIS PLAN PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED, IN WRITING, OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD BEFORE COMMENCING CONSTRUCTION AND NOTIFY THE ENGINEER, IN WRITING, OF ANY DISCREPANCY FOUND.

	EXISTING	PROPOSED
DRAINAGE MANHOLE		
CATCH BASIN		
END SECTION		
SEWER MANHOLE		
SEWER CLEANOUT		
HYDRANT		
END CAP		
CURB STOP		
GATE VALVE		
WELL		
UTILITY POLE		
GUY WIRE		
LIGHT POLE		
WALL PACK LIGHT		
TRANSFORMER BOX		
TELEPHONE BOX		
ELEVATION BENCHMARK		
PROPERTY LINE		
RIGHT-OF-WAY		
CENTERLINE OF ROAD		
STORMDRAIN		
UNDERDRAIN		
GRAVITY SANITARY SEWER		
PRESSURE SANITARY SEWER		
WATER MAIN/SERVICE		
GAS MAIN/SERVICE		
OVERHEAD UTILITY		
UNDERGROUND UTILITY		
OVERHEAD ELECTRICAL		
UNDERGROUND ELECTRICAL		
OVERHEAD TELEPHONE		
UNDERGROUND TELEPHONE		
STREAM/DRAINAGE SWALE		
WETLAND DELINEATION		
WETLAND BUFFER		
EDGE OF WOODS		
CONTOURS		

NOTE: LEGEND MAY INCLUDE SYMBOLS AND LINES NOT RELEVANT TO THIS PROJECT



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 CCE PROJECT NO: 19091

ELECTRICAL/MECHANICAL:
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 9 Washington Street
 Rutland, VT 05701
 802-985-8091

ALMOND BLOSSOMS SCHOOLHOUSE
 235 LAKE STREET
 ST. ALBANS, VERMONT

LOCATION:
 Lake Street
 ST. ALBANS, VT
DRAWING TITLE:
 Overall Site Plan

DRAWN BY: NRB
DATE: May 2020
SCALE: AS NOTED
DRAWING NO:

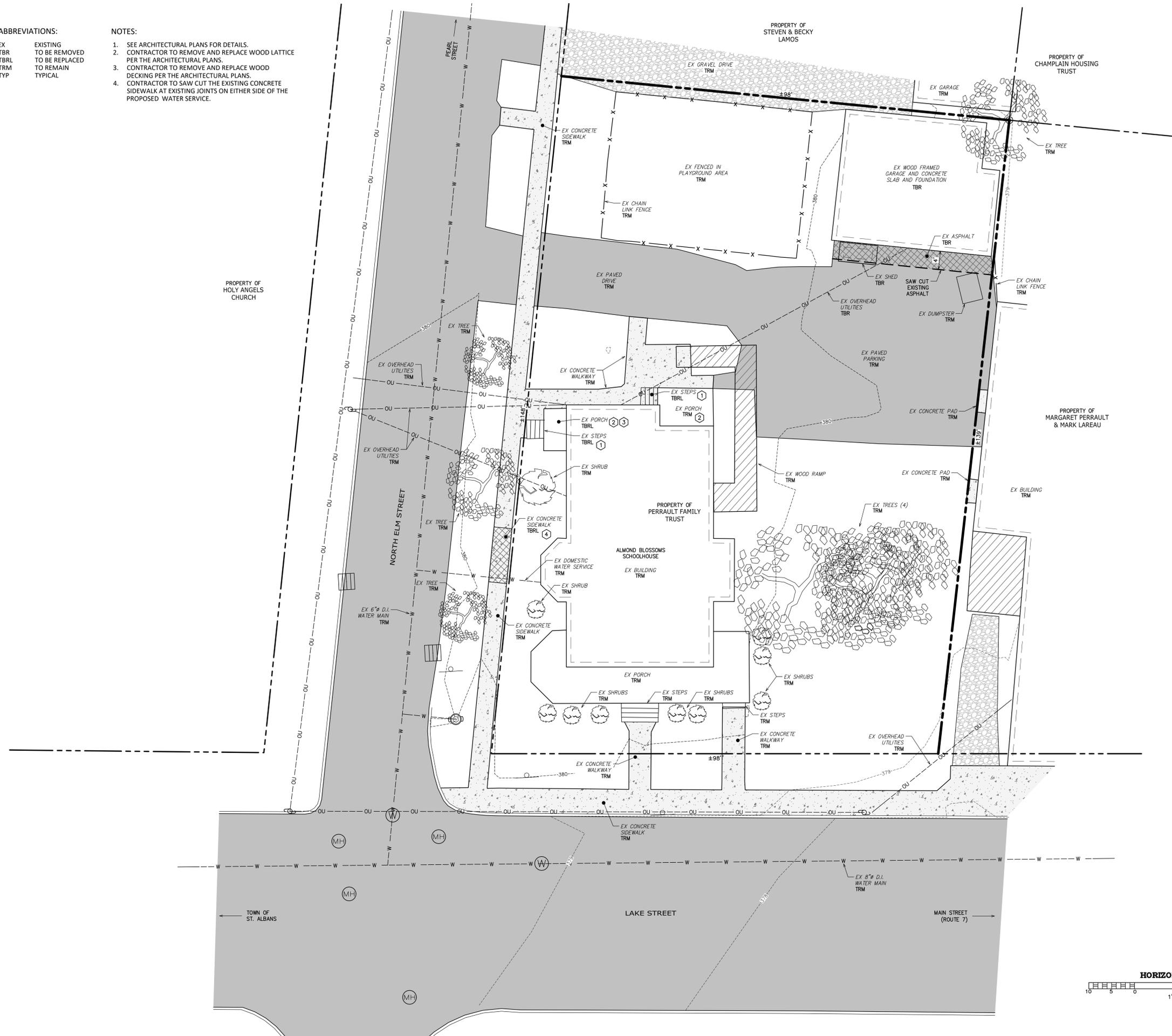
C-1
PROJECT NO: 21906
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ABBREVIATIONS:

EX EXISTING
 TBR TO BE REMOVED
 TBRL TO BE REPLACED
 TRM TO REMAIN
 TYP TYPICAL

NOTES:

1. SEE ARCHITECTURAL PLANS FOR DETAILS.
2. CONTRACTOR TO REMOVE AND REPLACE WOOD LATTICE PER THE ARCHITECTURAL PLANS.
3. CONTRACTOR TO REMOVE AND REPLACE WOOD DECKING PER THE ARCHITECTURAL PLANS.
4. CONTRACTOR TO SAW CUT THE EXISTING CONCRETE SIDEWALK AT EXISTING JOINTS ON EITHER SIDE OF THE PROPOSED WATER SERVICE.



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LOCATION:
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DRAWING TITLE:
 Existing Conditions and Demo Plan

DRAWN BY: NRB
DATE: May 2020
SCALE: AS NOTED
DRAWING NO:

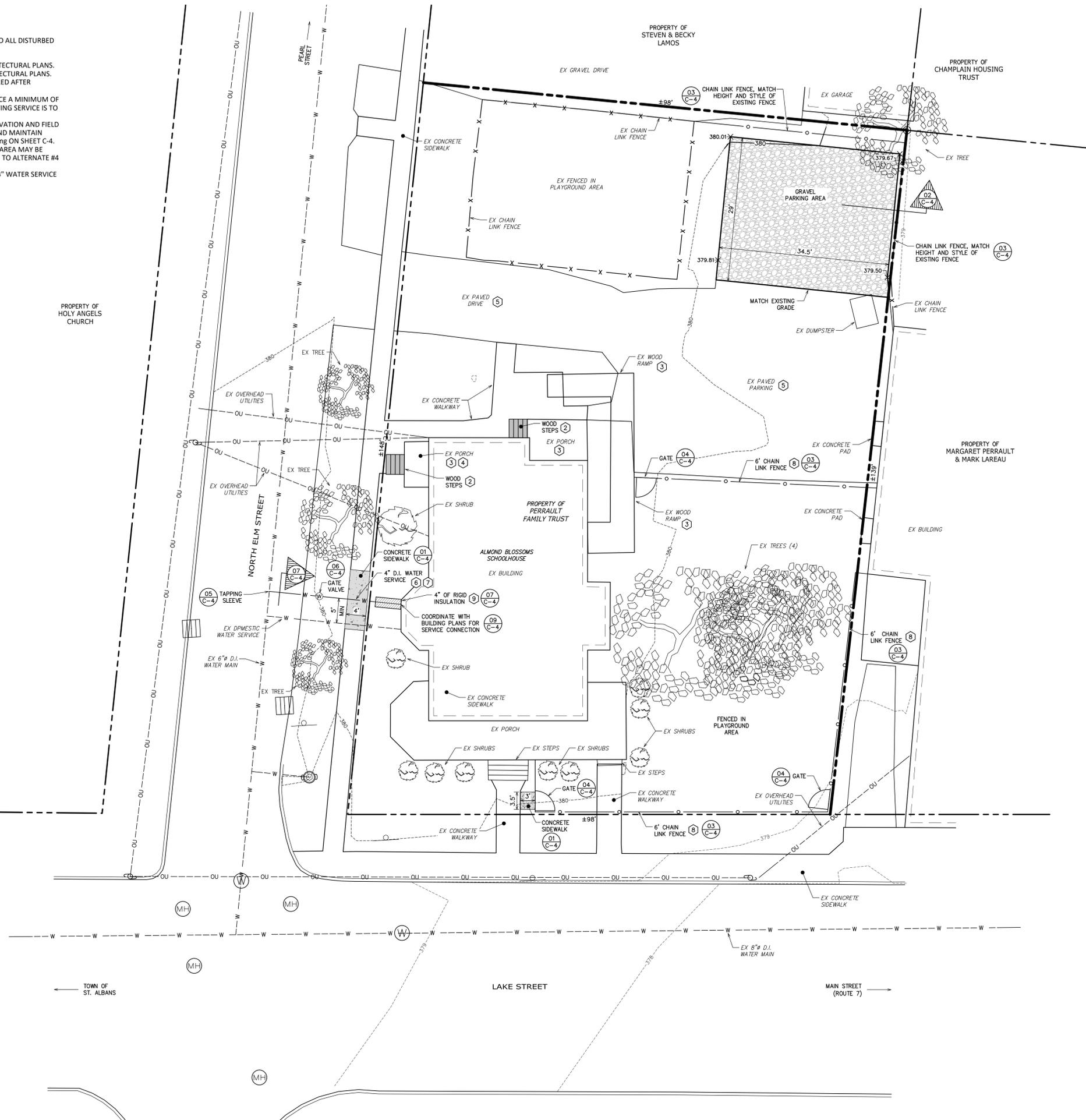
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PROJECT NO: 21906
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NOTES:

1. CONTRACTOR TO APPLY 4" TOPSOIL, SEED, AND MULCH TO ALL DISTURBED AREAS WITHIN 7 DAYS OF FINAL GRADING.
2. SEE ARCHITECTURAL PLANS FOR DETAILS.
3. CONTRACTOR TO INSTALL WOOD LATTICE PER THE ARCHITECTURAL PLANS.
4. CONTRACTOR TO INSTALL NEW DECKING PER THE ARCHITECTURAL PLANS.
5. CONTRACTOR TO PATCH AND REPAIR ASPHALT AS REQUIRED AFTER DEMOLITION.
6. CONTRACTOR TO INSTALL THE NEW 4" Ø D.I. WATER SERVICE A MINIMUM OF 5' FROM THE THE EXISTING DOMESTIC SERVICE. THE EXISTING SERVICE IS TO REMAIN.
7. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO ANY EXCAVATION AND FIELD VERIFY LOCATION OF OTHER UNDERGROUND UTILITIES AND MAINTAIN PROPER SEPARATION. SEE DETAIL 08 - Sewer Water Crossing ON SHEET C-4.
8. THE CHAIN LINK FENCE AROUND THE NEW PLAYGROUND AREA MAY BE SUBSTITUTED WITH AN ALUMINUM PICKET FENCE. REFER TO ALTERNATE #4 AND THE SPECIFICATIONS.
9. INSTALL 4" OF RIGID INSULATION ABOVE THE PROPOSED 4" WATER SERVICE WHERE COVER IS LESS THAN 5'-6".



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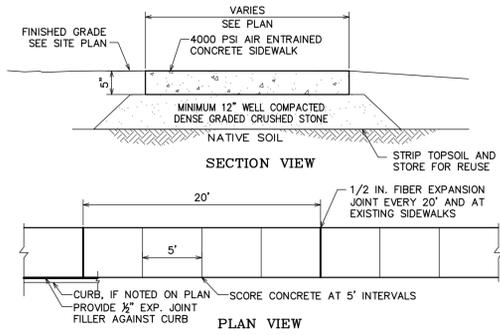
LOCATION:
Lake Street
ST. ALBANS, VT
DRAWING TITLE:
Site and Grading Plan

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SCALE: AS NOTED
DRAWING NO:

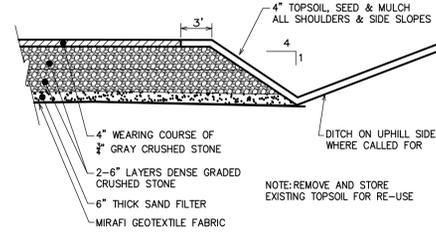
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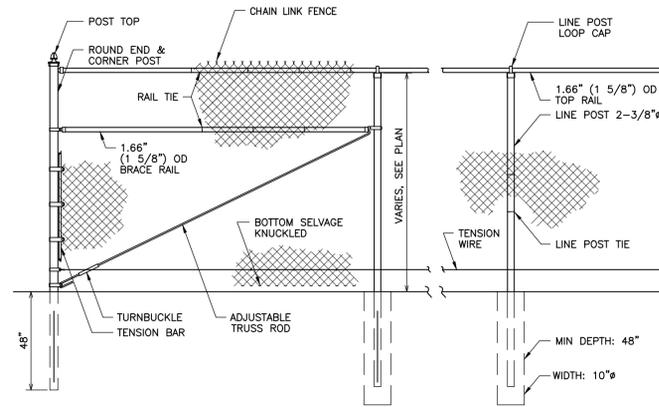
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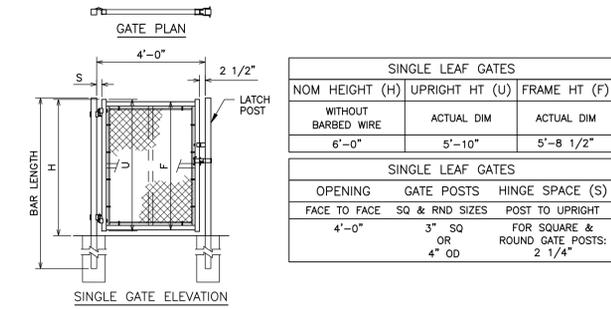
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C-4 NOT TO SCALE



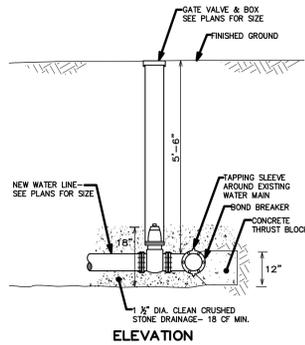
02 Gravel Parking Section
C-4 NOT TO SCALE



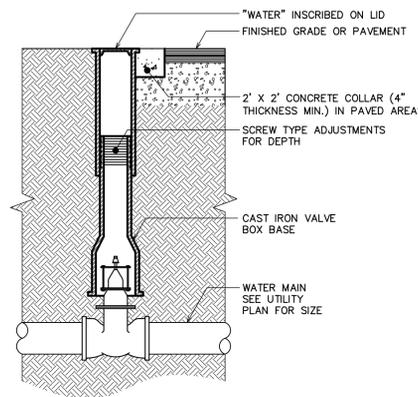
03 Chain Link Fence
C-4 NOT TO SCALE



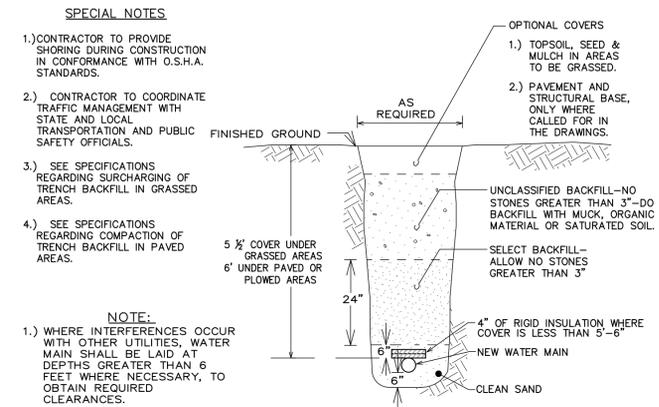
04 Chain Link Gate
C-4 NOT TO SCALE



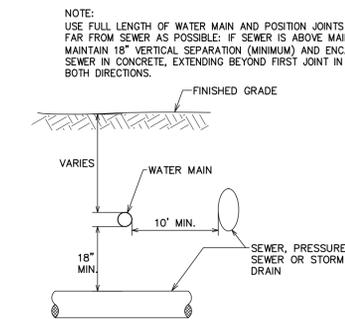
05 Existing Main Connection
C-4 NOT TO SCALE



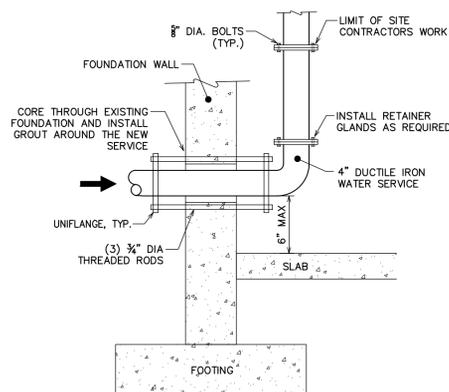
06 Gate Valve
C-4 NOT TO SCALE



07 Water Main Trench
C-4 NOT TO SCALE



08 Sewer Water Crossing
C-4 NOT TO SCALE



09 Water Service
C-4 NOT TO SCALE



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LEGEND

- EXISTING WALL OR ITEM TO BE REMOVED
SEE CORRESPONDING NOTE
- EXISTING WALL OR ITEM TO REMAIN
- △ KEYED NOTE: SEE CORRESPONDING NOTE

GENERAL NOTES

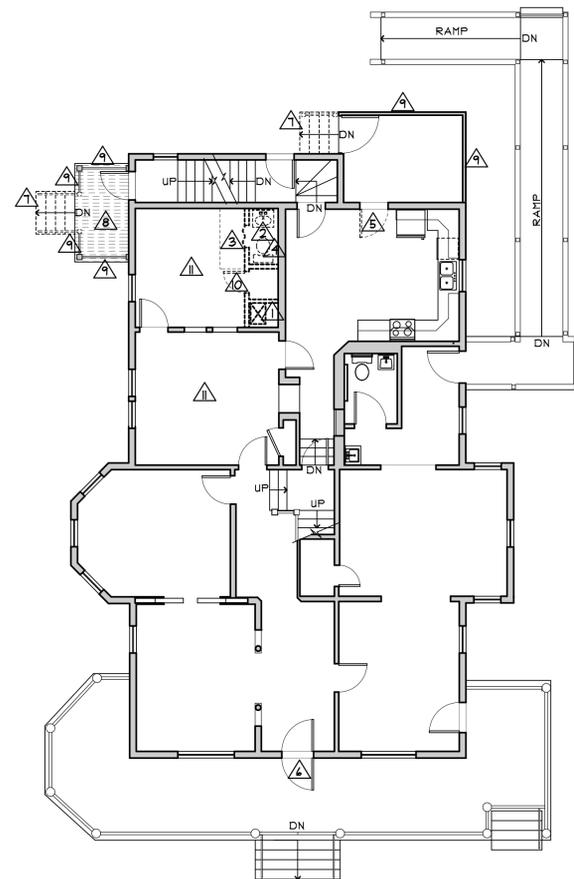
1. DISPOSE OF ALL REMOVED MATERIAL PROPERLY UNLESS MATERIAL IS INDICATED TO BE SALVAGED FOR REUSE.
2. WHEN CUTTING NEW OPENINGS, PROTECT EXISTING MILLWORK.
3. SEE PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR DEMOLITION OF PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.

DEMO FIRST FLOOR - KEYED NOTES

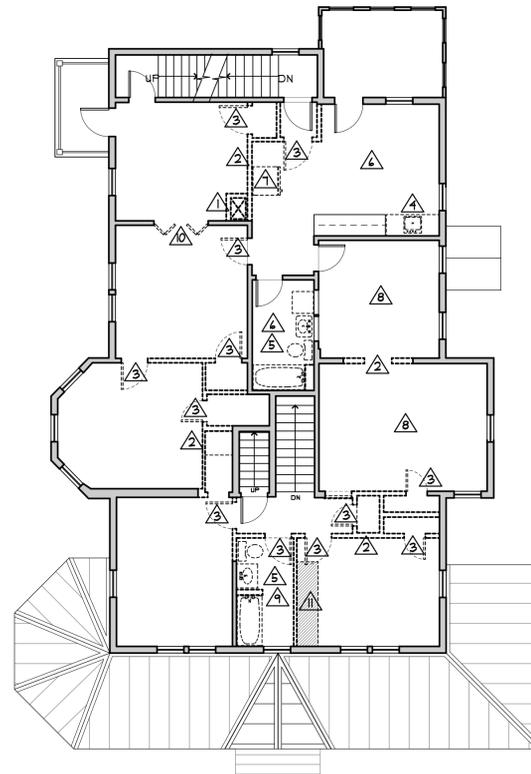
- △ REMOVE AND DISPOSE OF BRICK CHIMNEY FROM FIRST FLOOR TO ROOF.
- △ REMOVE AND DISPOSE OF WALL, BI-FOLD DOOR, PLUMBING FIXTURES, LIGHT FIXTURES AND ACCESSORIES. REMOVE AND SALVAGE FOR REINSTALLATION THE PAPER TOWEL AND SOAP DISPENSER.
- △ REMOVE AND DISPOSE OF EXISTING LOOSE-LAID VINYL FLOOR.
- △ REMOVE AND DISPOSE OF VINYL WALL COVERINGS FROM WALLS TO REMAIN IN TOILET ROOM.
- △ REMOVE AND DISPOSE OF EXISTING WEATHERSTRIPPING.
- △ REMOVE AND DISPOSE OF LOCK HARDWARE AND ANY EXISTING WEATHERSTRIPPING.
- △ REMOVE AND DISPOSE OF PORCH STEPS AND RAILINGS.
- △ REMOVE AND DISPOSE OF WOOD FLOOR PLANKS.
- △ REMOVE AND DISPOSE OF WOOD LATTICE BELOW PORCH.
- △ REMOVE EXISTING WALL AND DOOR AS INDICATED. DISPOSE OF WALL MATERIALS AND SALVAGE WOOD DOOR, DOOR TRIM AND WOOD BOARD TRIM.
- △ REMOVE AND DISPOSE OF LOOSE-LAID CARPET.

DEMO SECOND FLOOR - KEYED NOTES

- △ REMOVE AND DISPOSE OF BRICK CHIMNEY FROM FIRST FLOOR TO ROOF.
- △ REMOVE EXISTING WALLS AS INDICATED. DISPOSE OF WALL MATERIALS AND SALVAGE WOOD BASE FOR REUSE.
- △ REMOVE AND SALVAGE EXISTING WOOD DOORS AND TRIM HARDWARE AND WOOD DOOR STOPS. SELECTED DOORS, TRIM, HARDWARE AND WOOD DOOR STOPS TO BE REINSTALLED IN NEW LOCATIONS AS INDICATED. REMAINDER TO BE OWNER'S PROPERTY.
- △ REMOVE AND DISPOSE OF METAL KITCHEN UNIT AND SINK.
- △ REMOVE AND DISPOSE OF BATHROOM PLUMBING FIXTURES, LIGHT FIXTURES AND ACCESSORIES.
- △ REMOVE AND DISPOSE OF VINYL WALL PANELS AND FLOORING.
- △ REMOVE AND DISPOSE OF REFRIGERATOR.
- △ REMOVE AND DISPOSE OF CARPET AND PAD.
- △ REMOVE AND DISPOSE OF CERAMIC TILE FLOORING AND WAINSCOTING AND PREP FLOOR FOR NEW LINOLEUM FLOORING.
- △ REMOVE AND DISPOSE OF BI-FOLD DOORS.
- △ REMOVE WOOD FLOOR FOR INSTALLATION OF NEW LINOLEUM FLOORING AT NEW BATHROOM LAYOUT.



⊕ DEMOLITION - FIRST FLOOR PLAN
1/8" = 1'-0"



⊕ DEMOLITION - SECOND FLOOR PLAN
1/8" = 1'-0"



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ALMOND
BLOSSOMS
SCHOOLHOUSE

235 LAKE STREET
ST. ALBANS, VERMONT

DRAWING TITLE:
DEMOLITION -
FIRST & SECOND
FLOOR PLANS

DRAWN BY: HF
DATE: MAY 2020
SCALE: 1/8" = 1'-0"
DRAWING NO:

D1.1

PROJECT NO: 21904
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LEGEND

- EXISTING WALL OR ITEM TO BE REMOVED
SEE CORRESPONDING NOTE
- == EXISTING WALL OR ITEM TO REMAIN
- △ KEYED NOTE: SEE CORRESPONDING NOTE

GENERAL NOTES

1. DISPOSE OF ALL REMOVED MATERIAL PROPERLY UNLESS MATERIAL IS INDICATED TO BE SALVAGED FOR REUSE.
2. SEE PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR DEMOLITION OF PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.

DEMO BASEMENT - KEYED NOTES

- △ SEE MECHANICAL & PLUMBING DRAWINGS FOR DEMOLITION WORK IN BASEMENT.

DEMO ATTIC - KEYED NOTES

- △ REMOVE AND DISPOSE OF BRICK CHIMNEY FROM FIRST FLOOR TO ROOF.

DEMO ROOF - KEYED NOTES

- △ REMOVE AND DISPOSE OF BRICK CHIMNEY FROM FIRST FLOOR TO ROOF. PREP ROOF OPENING FOR NEW SHEATHING INSTALLATION.
- △ REMOVE AND DISPOSE OF EXISTING METAL STANDING SEAM ROOF.
- △ ALTERNATE #2: REMOVE AND DISPOSE OF EX'G ROOFING AT FLAT ROOF.



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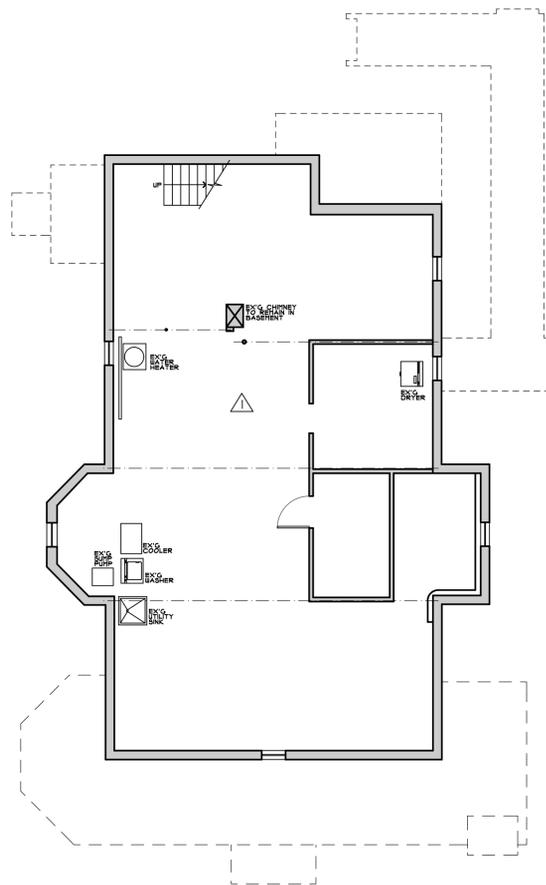
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DRAWING TITLE:
DEMOLITION -
BASEMENT, ATTIC
& ROOF PLAN

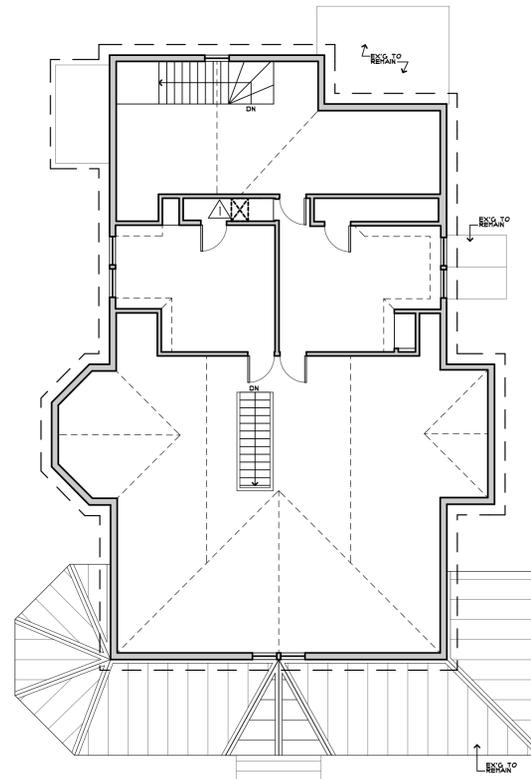
DRAWN BY: HF
DATE: MAY 2020
SCALE: 1/8" = 1'-0"
DRAWING NO:

D1.2

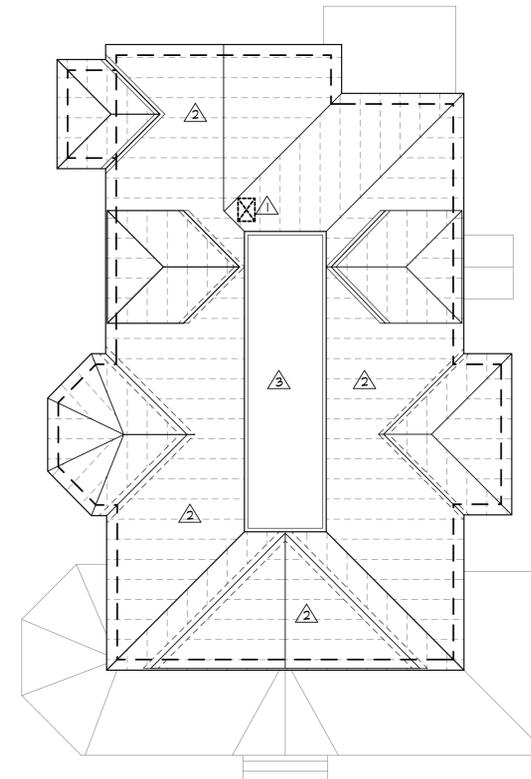
PROJECT NO: 21904
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⊕ DEMOLITION - BASEMENT FLOOR PLAN
1/8" = 1'-0"



⊕ DEMOLITION - ATTIC FLOOR PLAN
1/8" = 1'-0"



⊕ DEMOLITION - ROOF PLAN
1/8" = 1'-0"

GENERAL LEGEND

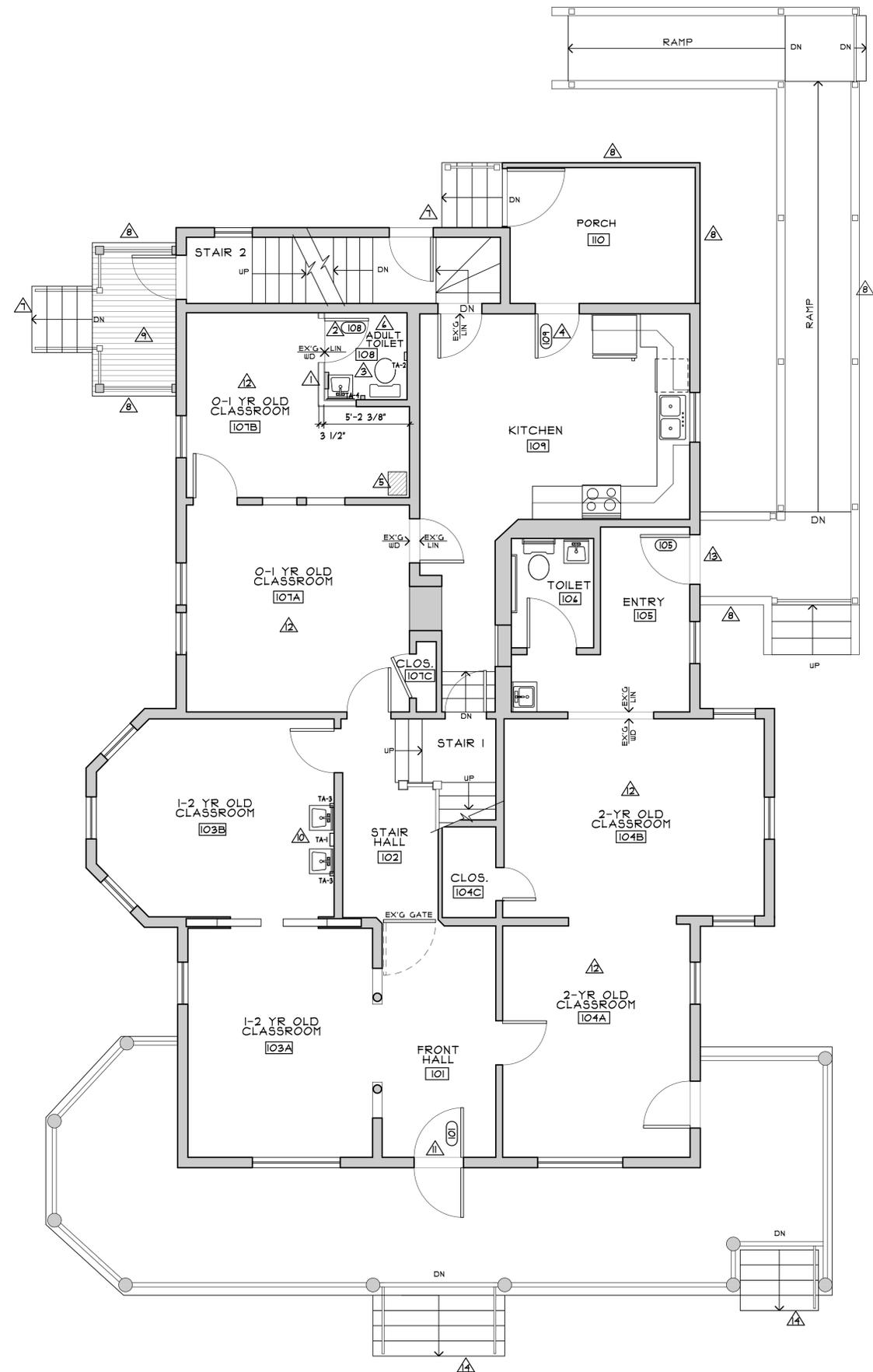
-  EX'G WALL OR ITEM TO REMAIN
-  NEW INTERIOR PARTITION
-  KEYED NOTE. SEE CORRESPONDING NOTE.
-  ROOM NUMBER. SEE ROOM FINISH SCHEDULE
-  NEW DOOR NUMBER. SEE DOOR SCHEDULE
-  INTERIOR ELEVATIONS. SEE CORRESPONDING PAGE/NUMBER

GENERAL NOTES

1. DUE TO THE NATURE OF EXISTING CONDITIONS, DIMENSIONS BASED ON EXISTING ELEMENTS MAY VARY. CONTACT ARCHITECT IF CONFLICT EXISTS.
2. DIMENSIONS ARE TO FACE OF STUD AND/OR FACE OF EXISTING ELEMENT, UNLESS OTHERWISE INDICATED.
3. SEE DWG D.I. FOR DEMOLITION WORK.

FIRST FLOOR - KEYED NOTES

-  PROVIDE AND INSTALL NEW PARTITION: 2X4 WOOD FRAMING WITH 5/8" GIB, BOTH SIDES, PAINTED; INSTALL SALVAGED WOOD BASE TRIM.
-  NEW 2'-8" X 4'-8" X 1 1/2" SIX PANEL WOOD DOOR, STAINED AND POLYURETHANED.
-  PROVIDE AND INSTALL NEW PLUMBING AND LED LIGHT FIXTURES. SEE PLUMBING AND ELECTRICAL PLANS. REINSTALL SALVAGED PAPER TOWEL DISPENSER AND SOAP DISPENSER.
-  REPAIR EXISTING DOOR TO CLOSE PROPERLY. PROVIDE AND INSTALL NEW WEATHERSTRIPPING.
-  PATCH AND REPAIR FLOOR WHERE CHIMNEY HAS BEEN REMOVED. INFILL FLOOR OPENING WITH NEW WOOD FRAMING AND FLOOR SHEATHING, MATCH EXISTING CONDITIONS. PROVIDE AND INSTALL NEW WOOD FLOORING TO MATCH EXISTING WOOD FLOORING IN WIDTH, THICKNESS AND SPECIES. POLYURETHANE FINISH.
-  PROVIDE AND INSTALL NEW LINOLEUM FLOORING IN ADULT TOILET.
-  PROVIDE AND INSTALL NEW P.T. WOOD TREADS, RISERS, STRINGERS AND HANDRAILS. SEE DWG A.X.X FOR DETAILS.
-  PROVIDE AND INSTALL NEW WOOD LATTICE FROM FLOOR TO GRADE AT REAR AND SIDE PORCHES AND UNDER WOOD RAMP ON PLAYGROUND SIDE; MATCH EXISTING, PTD.
-  PROVIDE AND INSTALL NEW WOOD PORCH DECKING, PTD.
-  PROVIDE AND INSTALL TWO LAVATORIES AT CHILD HEIGHT. SEE PLUMBING DRAWINGS.
-  PROVIDE AND INSTALL NEW WEATHERSTRIPPING AT EXISTING WOOD FRONT DOOR AND REPLACE LOCK WITH NEW ENTRY LOCK.
ALTERNATE # 3: REMOVE AND SALVAGE EXISTING FRONT DOOR AND INSTALL CUSTOM DOOR TO MATCH EXISTING WOOD DOOR WITH FULL OVAL GLASS.
-  SAND AND FINISH EXISTING WOOD FLOORS: NATURAL WOOD WITH POLYURETHANE FINISH.
-  PROVIDE AND INSTALL NEW WOOD TRIM AT HEAD AND JAMBS TO FILL EXPOSED STRUCTURE AROUND EXISTING DOOR INSTALLATION. MATCH EXISTING BUILDING PROFILES TO THE EXTENT POSSIBLE.
-  PAINT EXISTING STAIR TREADS AND RISERS, MATCH EXISTING COLOR.



PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



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DRAWING TITLE:
PROPOSED FIRST FLOOR PLAN

DRAWN BY: SF
DATE: MAY 2020
SCALE: 1/4" = 1'-0"
DRAWING NO:

A.I.I

PROJECT NO: 21904
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GENERAL LEGEND

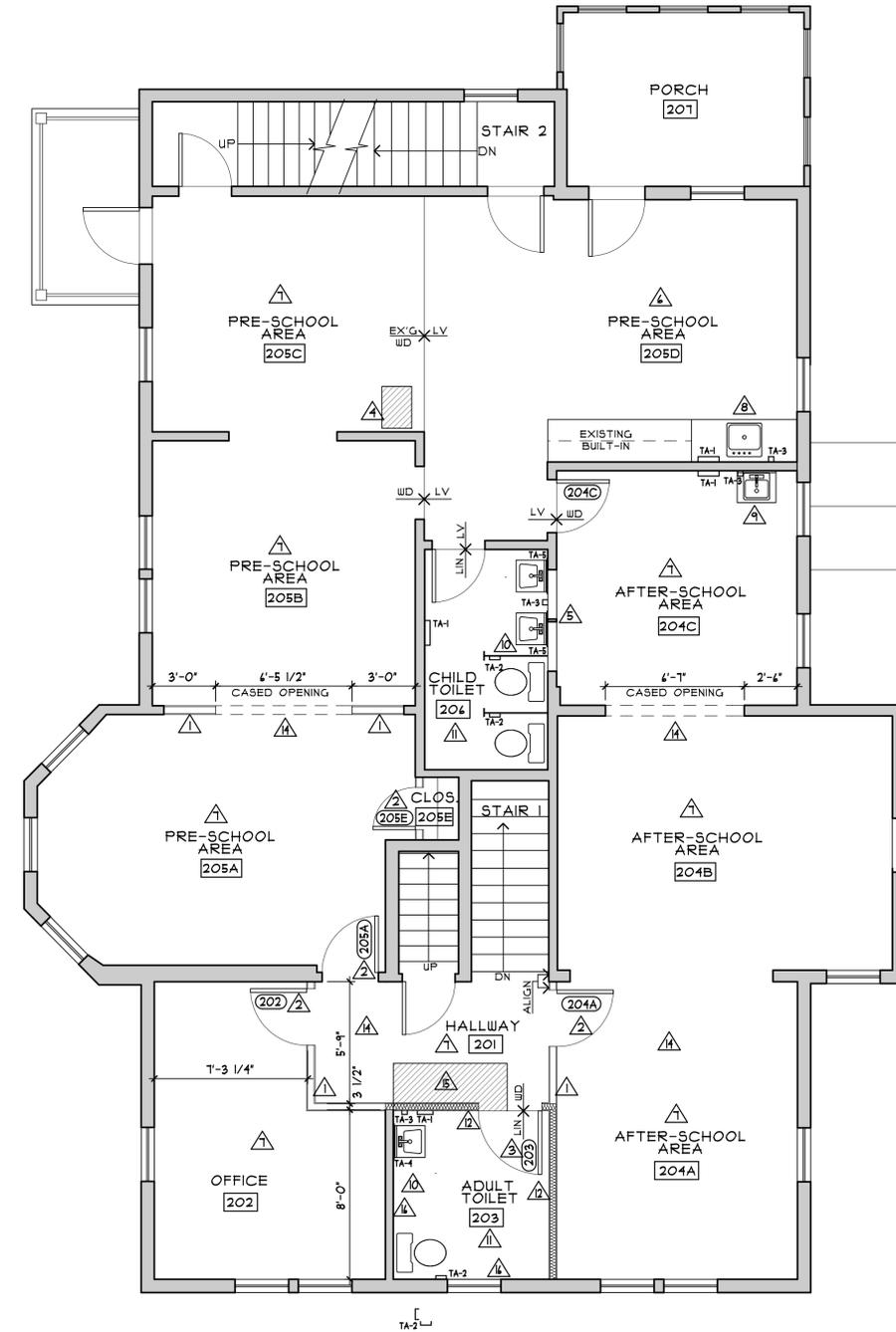
-  EX'G WALL OR ITEM TO REMAIN
-  NEW INTERIOR PARTITION
-  KEYED NOTE. SEE CORRESPONDING NOTE.
-  ROOM NUMBER. SEE ROOM FINISH SCHEDULE
-  NEW DOOR NUMBER. SEE DOOR SCHEDULE
-  INTERIOR ELEVATIONS. SEE CORRESPONDING PAGE/NUMBER

GENERAL NOTES

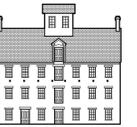
1. DUE TO THE NATURE OF EXISTING CONDITIONS, DIMENSIONS BASED ON EXISTING ELEMENTS MAY VARY. CONTACT ARCHITECT IF CONFLICT EXISTS.
2. DIMENSIONS ARE TO FACE OF STUD AND/OR FACE OF EXISTING ELEMENT, UNLESS OTHERWISE INDICATED.
3. SEE DWG D11 FOR DEMOLITION WORK.

SECOND FLOOR - KEYED NOTES

1. PROVIDE AND INSTALL NEW PARTITION, 2X4 WOOD FRAMING WITH 5/8" GWB, BOTH SIDES, PAINTED, INSTALL SALVAGED WOOD BASE TRIM.
2. SALVAGED DOOR AND TRIM INSTALLED IN NEW LOCATION.
3. NEW 3'-0" X 4'-8" X 1 1/2" SIX PANEL WOOD DOOR, STAINED AND POLYURETHANED.
4. PATCH AND REPAIR FLOOR WHERE CHIMNEY HAS BEEN REMOVED, INFILL FLOOR OPENING WITH NEW WOOD FRAMING AND FLOOR SHEATHING, MATCH EXISTING CONDITIONS. PROVIDE AND INSTALL NEW WOOD FLOORING TO MATCH EXISTING WOOD FLOORING IN WIDTH, THICKNESS AND SPECIES, POLYURETHANE FINISH.
5. AT HIGH WINDOW OPENINGS (2 AT 2'-4" X 2'-0" +/-) REMOVE EXISTING PIVOT WINDOW STOPS AND INSTALL NEW FIXED SAFETY GLASS AND WOOD STOPS, STAIN AND POLYURETHANE NEW WOOD STOPS TO MATCH EXISTING WOOD TRIM.
6. PROVIDE AND INSTALL NEW LV (SOLID VINYL) FLOOR TILE. ALTERNATE: REFINISH WOOD FLOORS EXPOSED FROM VINYL FLOOR REMOVAL.
7. SAND AND FINISH EXISTING WOOD FLOORS; NATURAL WOOD WITH POLYURETHANE FINISH.
8. PROVIDE AND INSTALL NEW BASE CABINETS WITH PLASTIC LAMINATE COUNTER TOP AND STAINLESS STEEL SINK.
9. PROVIDE AND INSTALL NEW SINK BASE CABINET WITH PLASTIC LAMINATE COUNTER TOP AND STAINLESS STEEL SINK AT CHILD HEIGHT.
10. PROVIDE AND INSTALL NEW PLUMBING FIXTURES, TOILET PARTITIONS/SCREENS, TOILET ACCESSORIES, SOAP AND TOILET PAPER DISPENSERS, SURFACE MOUNTED MIRRORS, AND LED LIGHT FIXTURES. SEE DRAWINGS FOR PLUMBING AND ELECTRICAL REQUIREMENTS.
11. PROVIDE AND INSTALL NEW LINOLEUM FLOORING.
12. PROVIDE AND INSTALL NEW SOUND INSULATION AT NEW TOILET PARTITIONS AS INDICATED.
13. NOT USED.
14. PROVIDE AND INSTALL WOOD FLOORING, TO MATCH EXISTING, POLYURETHANE FINISH, TO INFILL AREA AT FLOORS WHERE WALLS HAVE BEEN REMOVED, PROVIDE AND INSTALL GWB, PTD, AT CEILINGS/WALL INTERSECTIONS WHERE WALLS HAVE BEEN REMOVED.
15. PROVIDE AND INSTALL NEW FLOORING TO MATCH EXISTING WOOD FLOORING IN WIDTH, THICKNESS AND SPECIES, POLYURETHANE FINISH WHERE TILE FLOORING HAS BEEN REMOVED.
16. PATCH AND REPAIR EX'G WALLS TO REMAIN WHERE TILE WAINSCOTING HAS BEEN REMOVED, PROVIDE AND INSTALL NEW GWB, PTD, TO MATCH EXISTING WALL WHERE REQUIRED DUE TO REMOVAL OF PLUMBING FIXTURES.



PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



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SCHOOLHOUSE

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DRAWING TITLE:
PROPOSED
SECOND FLOOR
PLAN

DRAWN BY: 5F
DATE: MAY 2020
SCALE: 1/4" = 1'-0"
DRAWING NO:

A1.2

PROJECT NO: 21904
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GENERAL LEGEND

-  EX'G WALL OR ITEM TO REMAIN
-  NEW INTERIOR PARTITION
-  KEYED NOTE. SEE CORRESPONDING NOTE.
-  ROOM NUMBER. SEE ROOM FINISH SCHEDULE
-  NEW DOOR NUMBER. SEE DOOR SCHEDULE

GENERAL NOTES

1. DUE TO THE NATURE OF EXISTING CONDITIONS, DIMENSIONS BASED ON EXISTING ELEMENTS MAY VARY. CONTACT ARCHITECT IF CONFLICT EXISTS.
2. DIMENSIONS ARE TO FACE OF STUD AND/OR FACE OF EXISTING ELEMENT, UNLESS OTHERWISE INDICATED.
3. SEE DWG D1.2 FOR DEMOLITION WORK.

BASEMENT - KEYED NOTES

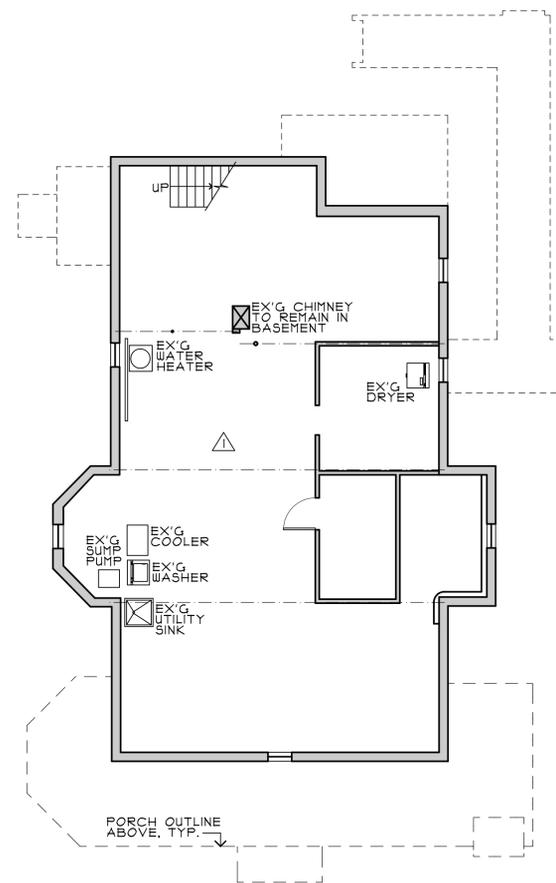
 NO ARCHITECTURAL WORK. SEE STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS FOR WORK IN THIS AREA.

ATTIC - KEYED NOTES

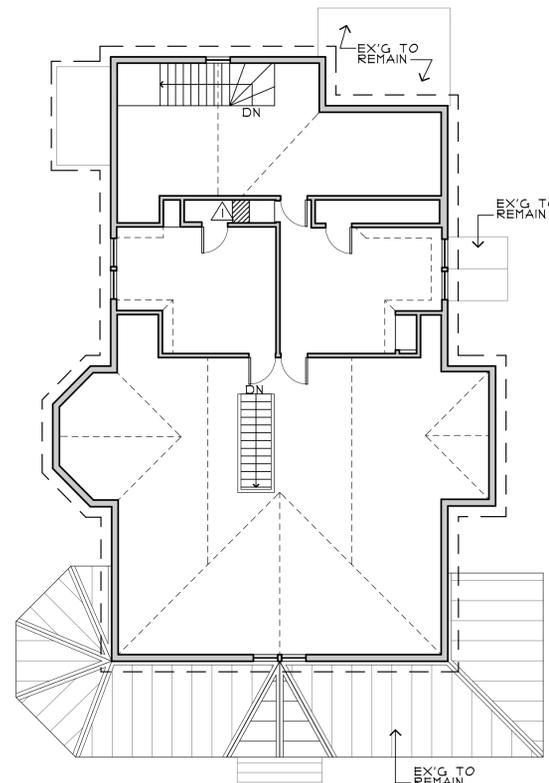
 PATCH FLOOR AREA WHERE CHIMNEY WAS REMOVED WITH NEW ROOF SHEATHING AND WOOD FRAMING AS REQUIRED.

ROOF - KEYED NOTES

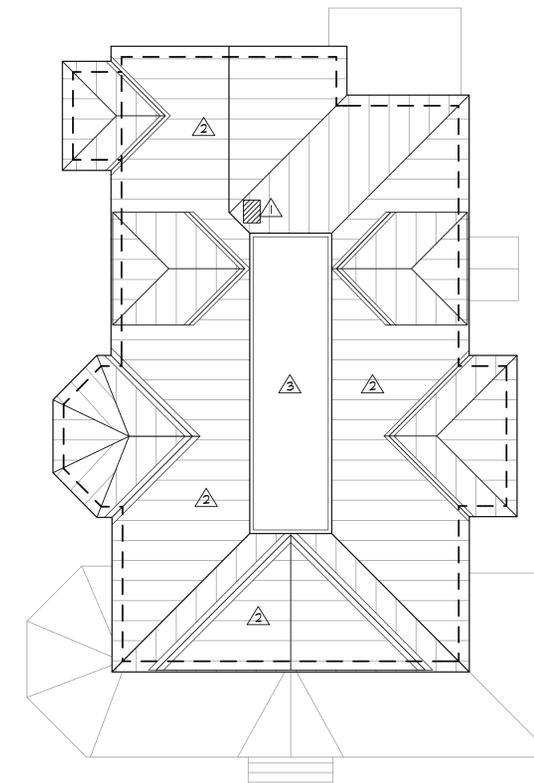
-  PATCH ROOF AREA WHERE CHIMNEY WAS REMOVED WITH 3/4" PLYWOOD AND WOOD FRAMING AS REQUIRED.
-  NEW ICE AND WATER SHIELD, TRI-FLEX 30 ROOFING UNDERLAYMENT, ROSIN PAPER, PERIMETER METAL DRIP EDGE AND KYNAR FINISHED 24 GAUGE DOUBLE LOCK STANDING SEAM METAL ROOF.
- ALTERNATE #1: DELETE STANDING SEAM ROOF AND ADD NEW ARCHITECTURAL ASPHALT SHINGLES WITH 50 YEAR WARRANTY.
-  ALTERNATE #2: REMOVE BUILT-UP ROOFING AND PROVIDE AND INSTALL NEW EPDM ROOFING AT FLAT ROOF.



 **BASEMENT FLOOR PLAN**
1/8" = 1'-0"



 **ATTIC FLOOR PLAN**
1/8" = 1'-0"



 **ROOF PLAN**
1/8" = 1'-0"



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DRAWING TITLE:
BASEMENT, ATTIC
& ROOF PLAN

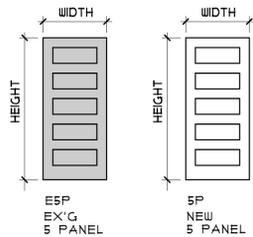
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DRAWING NO:

A1.3

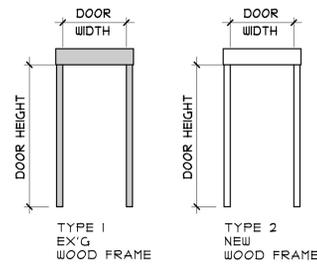
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DOOR SCHEDULE											
DR#	ROOM	DOOR				FRAME		FIRE RAT'G	HDJ SET	DETAIL	NOTES
		WIDTH	HEIGHT	MATL.	TYPE	THK	MATERIAL				
FIRST FLOOR											
101	FRONT HALL	EX'G	EX'G	EX'G		V.I.F.	EX'G		1	---	NEW WEATHERSTRIPPING AND ENTRY LOCK
105	ENTRY	EX'G	EX'G	EX'G			EX'G		EX'G		INSTALL NEW WOOD TRIM AT HEAD AND JAMB TO COVER EXPOSED STRUCTURE, MATCH EX'G
108	ADULT TOILET	2'-8"	EX'G	EX'G	ESP	1 3/8"	EX'G	1	5	4/A3.1	INSTALL SALVAGED 2'-8" WIDE DOOR & FRAME
109	KITCHEN	EX'G	EX'G	EX'G	ESP	1 3/8"	EX'G	1	2	---	REPAIR EXISTING DOOR TO CLOSE PROPERLY. INSTALL NEW WEATHERSTRIPPING
SECOND FLOOR											
202	OFFICE	2'-8"	EX'G	EX'G	ESP	1 3/8"	EX'G	1	4	4/A3.1	INSTALL SALVAGED 2'-8" WIDE DOOR & FRAME
203	ADULT TOILET	3'-0"	4'-8"	WOOD	5P	1 3/8"	WOOD	2	4	5/A3.1	
204A	AFTERSCHOOL AREA	2'-8"	EX'G	EX'G	ESP	1 3/8"	EX'G	1	3	4/A3.1	INSTALL SALVAGED 2'-8" WIDE DOOR & FRAME
204C	AFTERSCHOOL AREA	EX'G	EX'G	EX'G	ESP	1 3/8"	EX'G	1	3	---	NEW LOCKSET
205A	PRESCHOOL AREA	2'-8"	EX'G	EX'G	ESP	1 3/8"	EX'G	1	EX'G	3/A3.1	INSTALL SALVAGED 2'-8" WIDE DOOR & FRAME
205E	PRESCHOOL CLOS.	2'-0"	EX'G	EX'G	ESP	1 3/8"	EX'G	1	EX'G	4/A3.1	INSTALL SALVAGED 2'-0" WIDE DOOR & FRAME

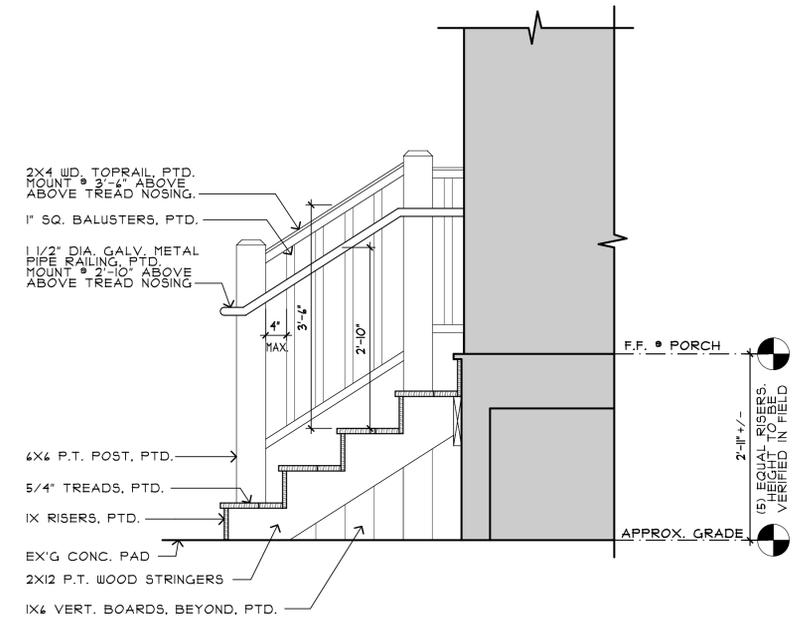
NOTES
1. VERIFY DIMENSIONS IN THE FIELD



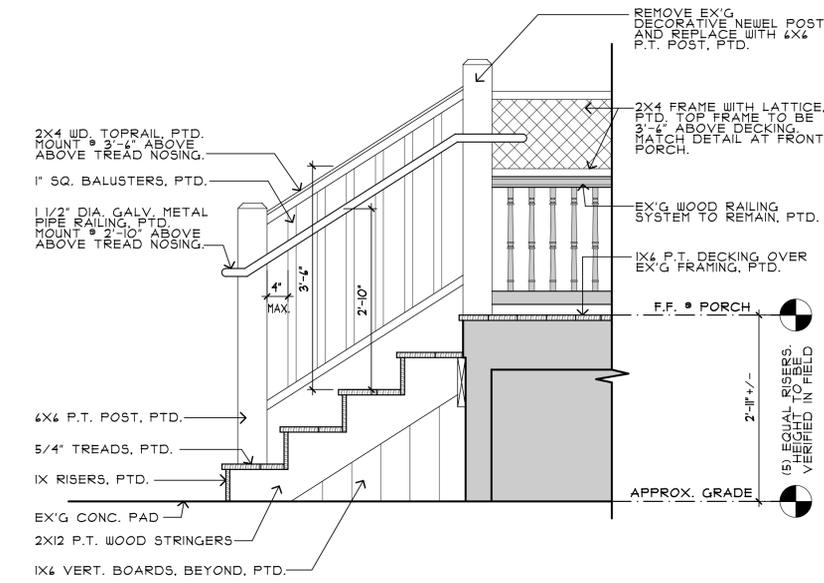
1 DOOR TYPES
A3.1 1/4" = 1'-0"



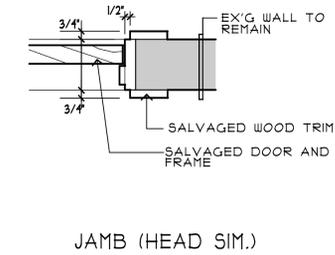
2 FRAME TYPES
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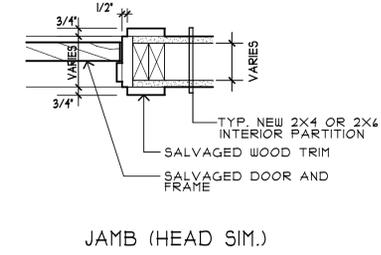
6 EXT. STAIR SECTION @ PORCH 110
A3.1 3/4" = 1'-0"



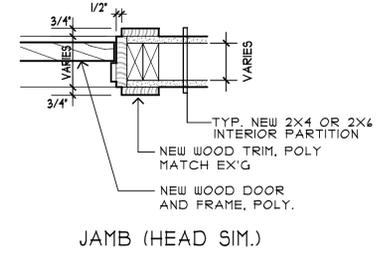
7 EXT. STAIR SECTION @ STAIR 2
A3.1 3/4" = 1'-0"



3 SALV. DOOR AT EX'G WALL
A3.1 3/4" = 1'-0"



4 SALV. DOOR AT NEW WALL
A3.1 3/4" = 1'-0"



5 NEW DOOR AT NEW WALL
A3.1 3/4" = 1'-0"



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DRAWING TITLE:
DOOR SCHEDULE & DETAILS

DRAWN BY: HF
DATE: MAY 2020
SCALE: AS NOTED
DRAWING NO:

A3.1

PROJECT NO: 21904
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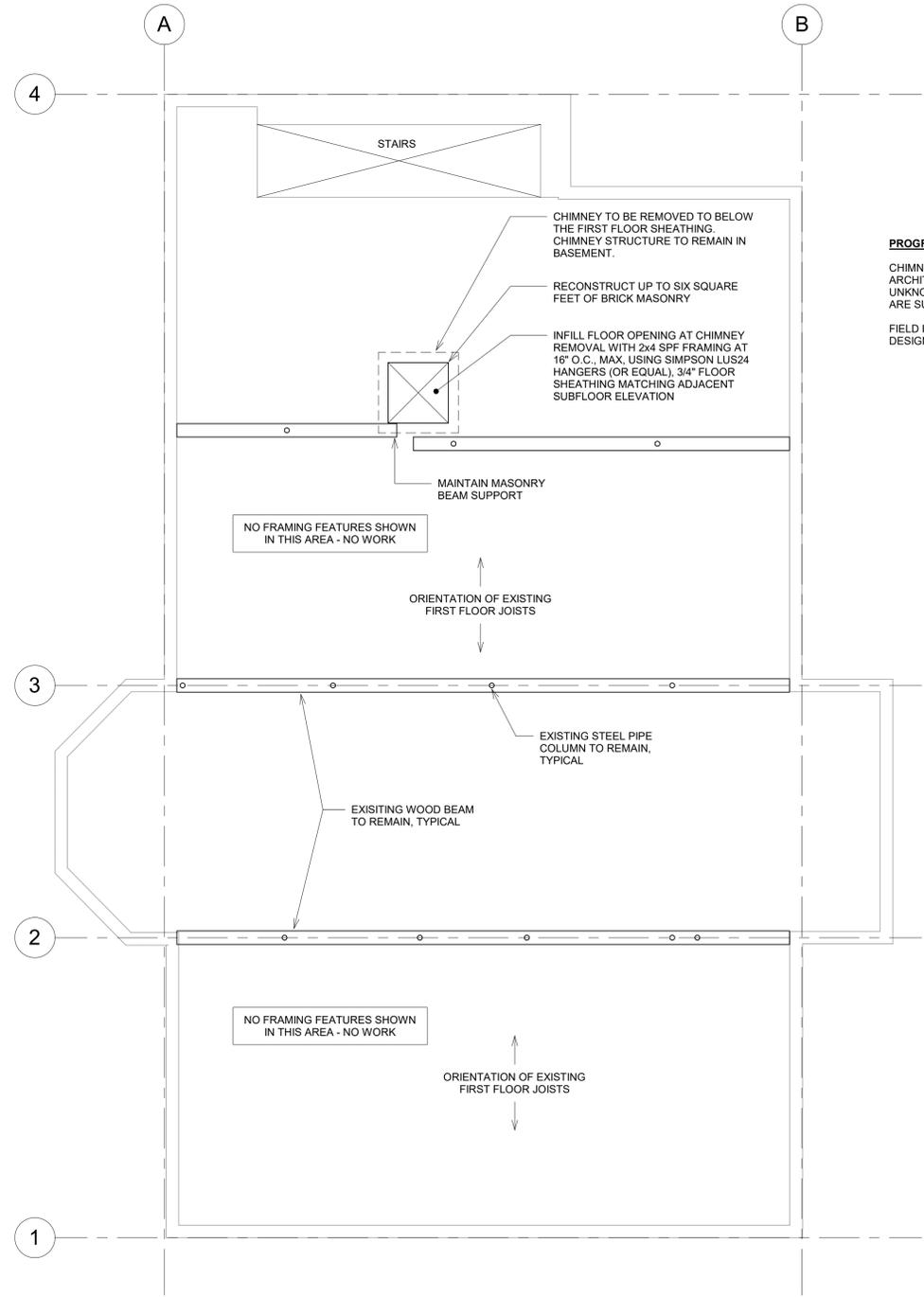
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BLOSSOMS
SCHOOLHOUSE**

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ST. ALBANS, VERMONT

GENERAL PROJECT NOTES:

CONTRACTOR SHALL FIELD VERIFY ALL RELEVANT EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, ETC PRIOR TO THE START OF CONSTRUCTION. NOTIFY ENGINEER OF ANY SIGNIFICANT DISCREPANCIES

AN INSPECTION OF VISIBLE STRUCTURAL ELEMENTS WAS PERFORMED FOR THE PREPARATION OF THIS DESIGN. CONCEALED BUILDING ELEMENTS IN POOR CONDITION AND/OR UNFORSEEN CONDITIONS MAY BE ENCOUNTERED DURING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DESIGN AS SOON AS POSSIBLE. CROSS CONSULTING ENGINEERS DOES NOT REPRESENT THAT EVERY FEATURE OR DEFECT IS FOUND AND INCORPORATED INTO THE DESIGN.



PROGRESS PRINT NOTE:

CHIMNEY REMOVAL IS SPECIFIED IN THE ARCHITECTURAL PLANS. IT IS CURRENTLY UNKNOWN IF THE SECOND FLOOR AND ROOF ARE SUPPORTED BY THE CHIMNEY STRUCTURE.

FIELD INVESTIGATION IN THE NEXT PHASE OF DESIGN DEVELOPMENT IS REQUIRED.



First Floor Support Plan - with Basement Supports Shown

Scale: 1/4" = 1'-0"

DRAWING TITLE:

**Basement Level
Supports**

DRAWN BY: CHW

DATE: MAY 2020

SCALE: As indicated

DRAWING NO:

S-1.1

PROJECT NO: 21906

ARNOLD & SCANGAS ARCHITECTS 2019

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CCE PROJECT NO.: 19091

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**ALMOND
BLOSSOMS
SCHOOLHOUSE**

235 LAKE STREET
ST. ALBANS, VERMONT

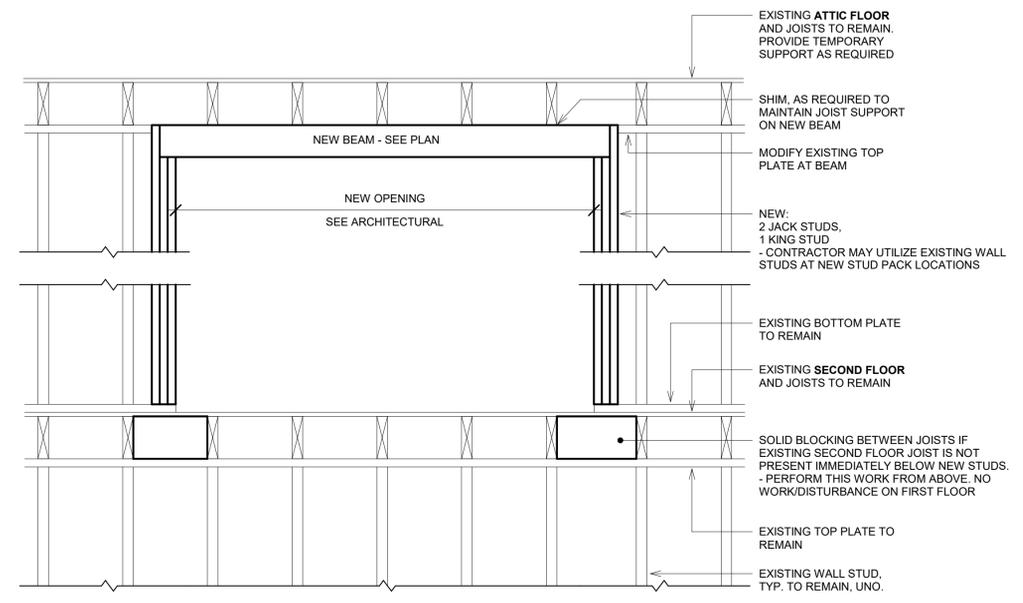
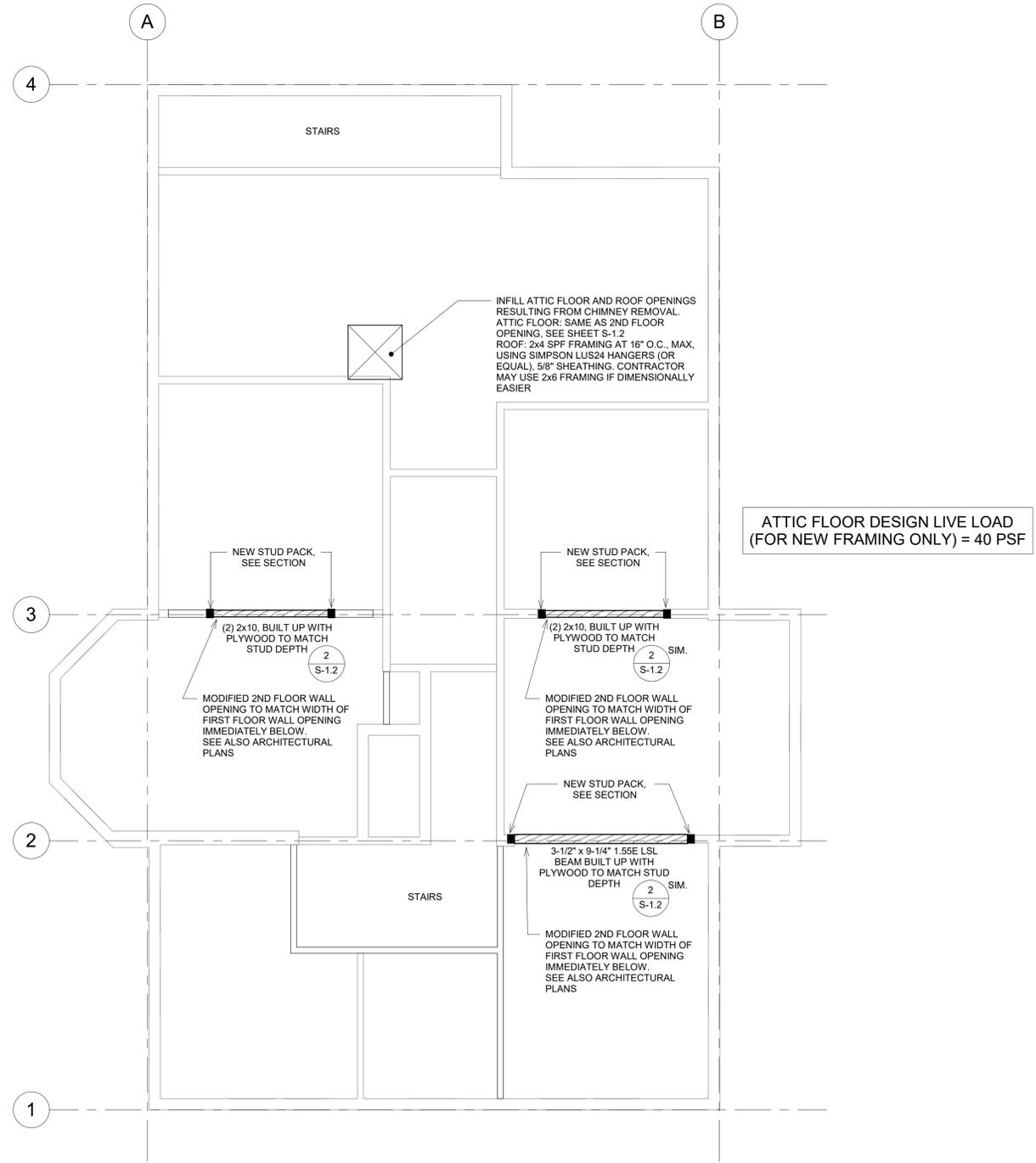
DRAWING TITLE:

**Second Floor
Level Supports**

DRAWN BY: CHW
DATE: MAY 2020
SCALE: As indicated
DRAWING NO:

S-1.2

PROJECT NO: 21906
ARNOLD & SCANGAS ARCHITECTS 2019



2 Typical Section
Scale: 3/4" = 1'-0"

1 Attic Floor Support Plan with 2nd Floor Walls
Scale: 1/4" = 1'-0"

NOTES:
NO STRUCTURAL MODIFICATIONS TO THE FIRST FLOOR WALLS, BELOW, ARE REQUIRED FOR THE WORK INDICATED ON THIS SHEET
AT THE CHIMNEY REMOVAL, CONTRACTOR SHALL VERIFY THAT THERE IS NO FLOOR OR ROOF SUPPORT PROVIDED BY THE CHIMNEY, EXCEPT AT THE FIRST FLOOR WHERE INDICATED. NOTIFY ARCHITECT AND ENGINEER IF CHIMNEY TO BE DEMOLISHED IS PROVIDING SUPPORT

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MECHANICAL & PLUMBING LEGEND

- ES — EXISTING SANITARY PIPING TO REMAIN
- - - EV - - - EXISTING VENT PIPING TO REMAIN
- SANITARY PIPING
- - - - - VENT PIPING
- COLD WATER PIPING
- HOT WATER PIPING (110°F)
- - - - - E - - - - - EXISTING PIPING TO BE REMOVED
- PIPE RISER
- PIPE DROP
- ⊥ BOTTOM PIPE CONNECTION
- ⊘ BALL VALVE
- ⊘ BALANCING VALVE
- CO CLEANOUT, SUBSCRIPTS: ECO = EXISTING
- ▭ EXISTING C.I. RADIATOR
- ⊕ THERMOSTAT, SUBSCRIPTS: D/N = DAY/NIGHT, E = 120V ELECTRIC, # = ZONE, C = COOLING, H/C = HEATING/COOLING
- ⊕ EXISTING THERMOSTAT TO BE REMOVED
- ⊕ CONNECT TO EXISTING
- ⊕ DRAWING NOTE TAG
- ⊕ DEMOLITION NOTE TAG
- ⊕ EXISTING PLUMBING FIXTURE TO REMAIN (NO WORK)
- ⊕ EXISTING PLUMBING FIXTURE TO BE REMOVED
- P-# PLUMBING FIXTURE TAG
- V.T.R. VENT THROUGH ROOF

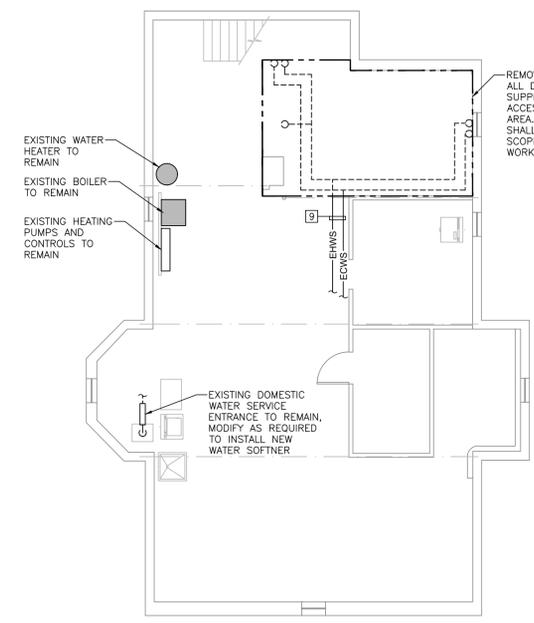
GENERAL NOTES: (APPLY TO ALL DRAWINGS)

- 1) THE EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE DIAGRAMMATIC AND ARE BASED ON SITE OBSERVATIONS AND ARE INTENDED TO SHOW THE GENERAL SCOPE OF DEMOLITION WORK REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE OVERALL SCOPE OF DEMOLITION WORK REQUIRED.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFICATIONS TO EXISTING MECHANICAL AND PLUMBING SYSTEMS AS NECESSARY TO INSTALL NEW MECHANICAL AND PLUMBING SYSTEMS.
- 3) ALL EXISTING INSULATION AFFECTED BY NEW WORK SHALL BE REPAIRED.
- 4) ALL NEW AND EXPOSED EXISTING WATER PIPING SHALL BE INSULATED AS SPECIFIED.
- 5) ALL NEW WASTE AND VENT PIPING SHALL BE TESTED AS SPECIFIED.
- 6) RE-BALANCE THE ENTIRE HOT WATER HEATING SYSTEM AFTER ALL NEW WORK HAS BEEN COMPLETED.

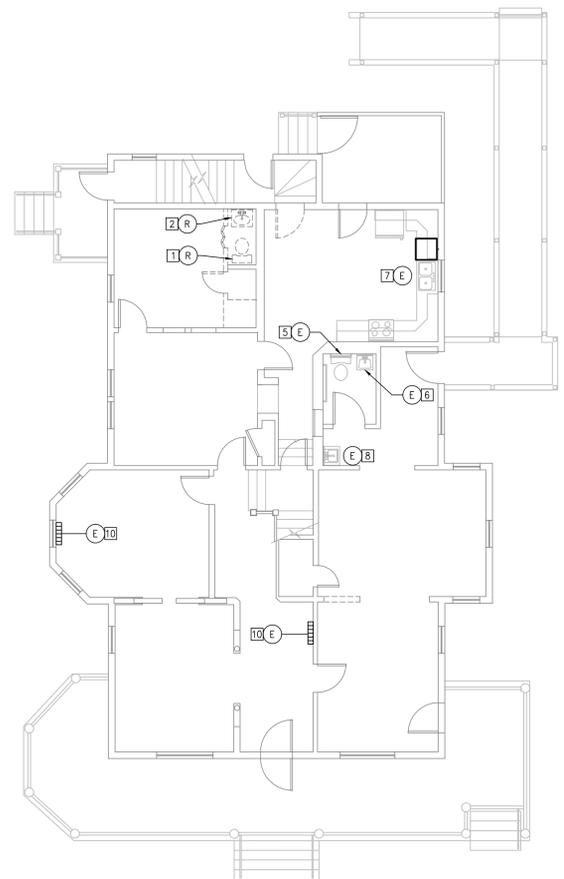
DEMOLITION NOTES: (APPLY TO THIS DRAWING ONLY)

- 1) EXISTING WATERCLOSET TO BE REMOVED, MODIFY EXISTING WASTE, VENT AND WATER PIPING AS REQUIRED TO INSTALL NEW FIXTURE.
- 2) EXISTING LAVATORY TO BE REMOVED, MODIFY EXISTING WASTE, VENT AND WATER PIPING AS REQUIRED TO INSTALL NEW FIXTURE.
- 3) EXISTING KITCHEN SINK TO BE REMOVED, MODIFY EXISTING WASTE, VENT AND WATER AS REQUIRED TO INSTALL NEW FIXTURE.
- 4) EXISTING SHOWER TO BE REMOVED INCLUDING ALL ASSOCIATED WASTE PIPING, MODIFY EXISTING WASTE, VENT AND WATER AS REQUIRED TO INSTALL NEW FIXTURE.
- 5) EXISTING WATERCLOSET TO REMAIN.
- 6) EXISTING LAVATORY TO REMAIN.
- 7) EXISTING KITCHEN SINK TO REMAIN.
- 8) EXISTING HAND SINK TO REMAIN.
- 9) EXISTING DOMESTIC WATER HOT AND COLD WATER SUPPLY PIPING TO REMAIN.
- 10) EXISTING HYDRONIC PANEL RADIATOR UNIT TO REMAIN.
- 11) EXISTING HYDRONIC PANEL RADIATOR UNIT TO BE RELOCATED, MODIFY EXISTING HOT WATER SUPPLY AND RETURN BRANCH PIPING AS REQUIRED TO RE-LOCATE UNIT, SEE NEW WORK PLANS.
- 12) REMOVE AND RELOCATE EXISTING THERMOSTAT, SEE NEW WORK PLANS.
- 13) EXISTING THERMOSTAT TO REMAIN.
- 14) INSULATE EXISTING EXPOSED COLD WATER SUPPLY PIPING, EXISTING HOSE BIBB TO REMAIN.

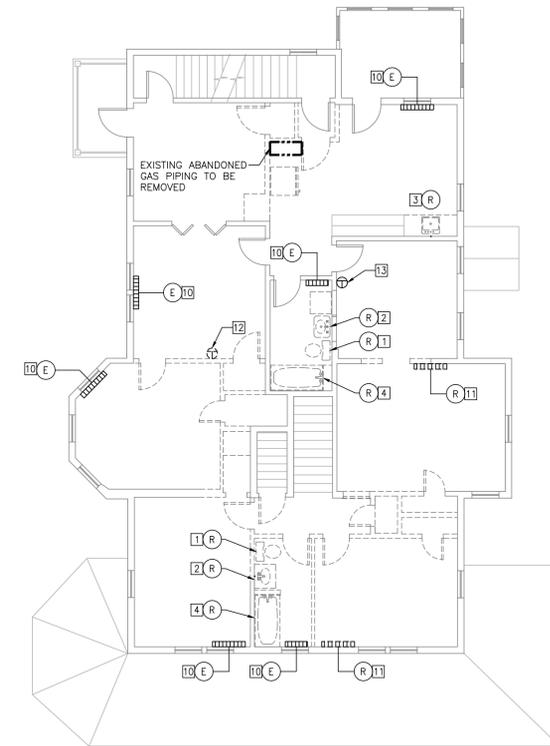
PLUMBING FIXTURE CONNECTION SCHEDULE								PLAN SYMBOL	P-#
NO.	ITEM	SOIL	WASTE	VENT	CW	HW	TRAP	REMARKS	
P-1	ACCESSIBLE WATER CLOSET	3"	-	2"	1/2"	-	INTEGRAL	-	
P-1A	CHILDREN'S WATER CLOSET	3"	-	2"	1/2"	-	INTEGRAL	-	
P-2	ACCESSIBLE WALL HUNG LAVATORY	-	1 1/2"	1 1/2"	1/2"	1/2"	1 1/4" X 1 1/2" P	-	
P-2A	CHILDRENS WALL HUNG LAVATORY (29" A.F.F.)	-	1 1/2"	1 1/2"	1/2"	3/8"	1 1/4" X 1 1/2" P	-	
P-3	CHILDRENS COUNTER SINK	-	1 1/2"	1 1/2"	1/2"	1/2"	1 1/2" P	-	
P-4	KITCHEN SINK	-	1 1/2"	1 1/2"	1/2"	1/2"	1 1/2" P	-	



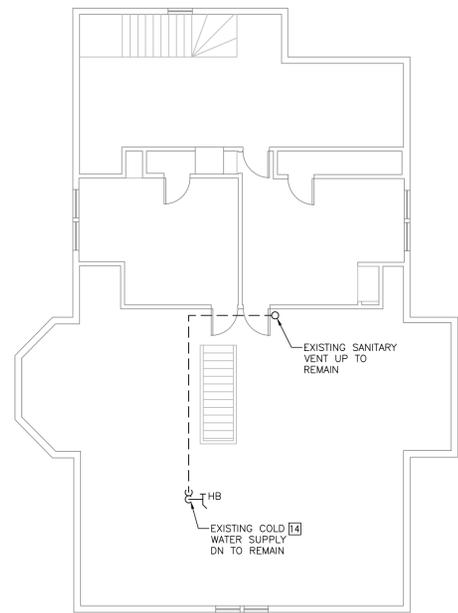
PLUMBING DEMOLITION
BASMENT FLOOR PLAN
SCALE: 1/8"=1'-0"



PLUMBING DEMOLITION FIRST
FLOOR PLAN
SCALE: 1/8"=1'-0"



PLUMBING DEMOLITION
SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



PLUMBING DEMOLITION
ATTIC FLOOR PLAN
SCALE: 1/8"=1'-0"



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235 LAKE STREET
ST. ALBANS, VERMONT

DRAWING TITLE:
MECHANICAL AND
PLUMBING DEMOLITION
PLANS

DRAWN BY: SEF
DATE: 05-18-2020
SCALE: AS NOTED
DRAWING NO:

MP1

PROJECT NO: 19185

MATERIAL SPECIFICATION:

PERMITS AND CODES:
 THIS CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LICENSES AND PERMITS AND SHALL PAY FOR ALL FEES AND CHARGES FOR THE CONNECTION TO OUTSIDE SERVICES AND USE OF PROPERTY OTHER THAN THE SITE OF THE WORK FOR STORAGE OF MATERIALS OR OTHER PURPOSES. WORK UNDER THIS CONTRACT SHALL BE INSTALLED TO COMPLY STRICTLY WITH LATEST APPLICABLE EDITIONS OF STATE AND FEDERAL BUILDING CODE, INCLUDING REGULATIONS AND REQUIREMENTS OF ALL MUNICIPAL, STATE, FEDERAL AND OTHER PUBLIC OR PRIVATE AUTHORITIES WHICH HAVE JURISDICTION. IN EACH CASE, CODES ARE MINIMUM REQUIREMENTS. ANS COMPLIANCE: COMPLY WITH APPLICABLE ANSI STANDARDS PERTAINING TO MATERIALS, PRODUCTS AND INSTALLATION OF SOIL AND WATER SYSTEMS AND PLUMBING FIXTURES. CONSTRUCT AND INSTALL BARRIER FREE PLUMBING FIXTURES IN ACCORDANCE WITH ANSI STANDARD A117.1. SPECIFICATIONS FOR MARKING BUILDINGS AND FACILITIES ACCESSIBLE TO AND USABLE BY PHYSICALLY HANDICAPPED PEOPLE, ADA COMPLIANCE: COMPLY WITH ALL REQUIREMENTS OF AMERICANS WITH DISABILITIES ACT FOR INSTALLATION OF PLUMBING FIXTURES WHERE REQUIRED TO COMPLY.

SHOP DRAWINGS:
 SUBMIT SHOP DRAWINGS ON ALL MAJOR ITEMS OF EQUIPMENT AND MATERIALS TO THE ARCHITECT FOR APPROVAL. MANUFACTURING OR FABRICATING OF ANY MATERIAL OR THE PERFORMING OF ANY WORK PRIOR TO APPROVAL OF SHOP DRAWINGS WILL BE ENTIRELY AT THE RISK OF THE CONTRACTOR. SHOP DRAWINGS SHALL BE SUBMITTED WITHIN THIRTY (30) DAYS AFTER AWARD OF CONTRACT. APPROVAL RENDERED ON SHOP DRAWINGS SHALL NOT BE CONSIDERED AS A GUARANTEE OF MEASUREMENTS OR BUILDING CONDITIONS. WHERE DRAWINGS ARE APPROVED, SAID APPROVAL DOES NOT MEAN THAT DRAWINGS HAVE BEEN CHECKED IN DETAIL; SAID APPROVAL DOES NOT IN ANY WAY RELIEVE THE CONTRACTOR FROM EITHER HIS RESPONSIBILITY NOR THE NECESSITY OF FURNISHING MATERIAL OR PERFORMING WORK REQUIRED BY THE CONTRACT DRAWINGS AND SPECIFICATIONS. SUBMIT COMPLETE AND DIMENSIONED AS-BUILT PLANS FOR ALL TRADES INDICATING ACTUAL INSTALLED CONDITIONS. PLANS SHALL BE ENTIRELY NEAT, LEGIBLE AND ACCURATE.

GUARANTEE, SERVICE AND REPLACEMENT:
 EXCEPT AS A LONGER PERIOD MAY BE PROVIDED IN THIS SPECIFICATION, THIS CONTRACTOR SHALL GUARANTEE THE WORK TO THE FULL EXTENT OF THE PROVISION OF THE DRAWINGS, THIS SPECIFICATION AND THE GENERAL CONDITIONS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE ARCHITECT AS EVIDENCED BY THE ARCHITECT'S FINAL CERTIFICATE. THIS CONTRACTOR SHALL SERVICE ALL INSTALLED EQUIPMENT FREE OF CHARGE DURING THE GUARANTEE PERIOD. ANY APPARATUS OR EQUIPMENT THAT REQUIRES EXCESSIVE SERVICE DURING THE GUARANTEE PERIOD SHALL BE CONSIDERED DEFECTIVE AND SHALL BE REPLACED BY THIS CONTRACTOR WITHOUT ADDITIONAL COST TO OWNER.

GENERAL SCOPE OF WORK:
 REMOVE AND REPLACE PLUMBING FIXTURES AS INDICATED ON THE DRAWINGS, INCLUDING ALL ASSOCIATED SANITARY WASTE AND VENT PIPING, DOMESTIC WATER PIPING, AND ALL ACCESSORIES.
 PROVIDE NEW PLUMBING FIXTURES AS INDICATED ON THE DRAWINGS, INCLUDING ALL ASSOCIATED SANITARY WASTE AND VENT PIPING, DOMESTIC WATER PIPING, AND ALL ACCESSORIES. CONNECT TO THE EXISTING DOMESTIC WATER AND SANITARY WASTE AND VENT SYSTEM.
 REMOVE AND RELOCATE HYDRONIC PANEL RADIATORS AS INDICATED ON THE DRAWINGS.
 REMOVE AND RELOCATE EXISTING ROOM THERMOSTATS WHERE INDICATED ON THE DRAWINGS.
 REMOVE AND REPLACE EXISTING DOMESTIC WATER PIPING AS INDICATED ON THE DRAWINGS.

PIPE HANGERS AND SUPPORTS:
 ALL PIPING SHALL BE RIGIDLY SUPPORTED FROM THE BUILDING STRUCTURE BY MEANS OF APPROVED HANGERS AND SUPPORTS. THIS CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY INTERMEDIATE SUPPORT STEEL AND THE PROPER HANGING OF ALL PIPING AND EQUIPMENT. CHAINS, STRAP, PERFORATED BAR OR WIRE HANGERS SHALL NOT BE PERMITTED. HANGERS FOR INSULATED STEEL PIPING SHALL BE INSTALLED OUTSIDE OF INSULATION AND PROVIDED WITH INSULATION PROTECTOR SADDLES. SADDLES SHALL BE 12" LONG, 1/2 THE CIRCUMFERENCE IN WIDTH. ALL SUPPORT COMPONENTS SHALL CONFORM TO MANUFACTURER'S STANDARDIZATION SOCIETY SPECIFICATION SP-58. THE HANGERS SHALL ADEQUATELY SUPPORT THE PIPING SYSTEM. THEY SHALL BE LOCATED NEAR OR AT CHANGES IN PIPING DIRECTION AND AT CONCENTRATED LOADS. THEY SHALL PROVIDE VERTICAL ADJUSTMENT TO MAINTAIN PITCH REQUIRED FOR PROPER DRAINAGE AND ALLOW FOR EXPANSION AND CONTRACTION OF THE PIPING. HANGERS SHALL BE CONSTRUCTED OF MALLEABLE OR WROUGHT IRON. HANGERS SUPPORTING COPPER PIPE SHALL BE COPPER-PLATED PIPE HANGERS FOR COLD WATER SERVICES SHALL BE LARGE ENOUGH TO ENCOMPASS THE INSULATION, USING A METAL SHELDS, SO THAT VAPOR BARRIER JACKET WILL NOT BE BROKEN.

PIPE SLEEVES AND FIRE STOPPING:
 FURNISH AND SET SLEEVES TO ACCOMMODATE PIPES PASSING THROUGH FOUNDATIONS, WALLS, FLOORS, FURRING AND CEILINGS. COOPERATE WITH GENERAL CONTRACTOR IN SETTING ALL SLEEVES. SLEEVES SHALL BE FULL THICKNESS OF CONSTRUCTION. SLEEVES SHALL BE LARGE ENOUGH TO PERMIT FREE MOVEMENT OF PIPE WHERE EXPANSION AND CONTRACTION OCCUR. PROVIDE U.L. LISTED FIRE STOPPING FOR ALL PENETRATIONS OF FLOORS, WALLS, CEILINGS, ETC. THE CONTRACTOR SHALL PREPARE AND SUBMIT A COMPLETE DETAILED SUBMITTAL FOR ALL FIRE STOPPING CONDITIONS FOR THE PROJECT. THIS SUBMITTAL SHALL CLEARLY INDICATE THE FIRE STOPPING INSTALLATION METHODS AND MATERIALS REQUIRED TO MATCH THE FIRE RATING OF THE ASSEMBLY. THIS SUBMITTAL SHALL INCLUDE U.L. TEST SHEET FOR THE INSTALLATION AND ALL INSTALLATION INSTRUCTIONS. DO NOT PROCEED WITH INSTALLATION OF FIRE STOPPING UNTIL SHOP DRAWINGS HAVE BEEN APPROVED BY THE ARCHITECT AND ENGINEER. THE CONTRACTOR SHALL HAVE ALL SHOP DRAWINGS AVAILABLE AND SHALL UTILIZE APPROVED SHOP DRAWINGS FOR THE INSTALLATION OF FIRE STOPPING. SLEEVES THROUGH EXTERIOR WALLS BELOW GRADE, THROUGH FOUNDATION WALLS, SHALL BE "LINK-SEAL" WATER-TIGHT MECHANICAL SLEEVE SEAL.

ACCESS PANELS:
 THE EXTENT OF ACCESS REQUIREMENTS FOR MECHANICAL AND PLUMBING WORK IS INDICATED ON THE DRAWINGS. THE ACCESS UNITS REQUIRED ARE RECOGNIZED TO INCLUDE: (1) THOSE UNITS DIRECTLY INDICATED IN THE CONTRACT DOCUMENTS, (2) THOSE UNITS INDIRECTLY INDICATED IN THE CONTRACT DOCUMENTS BY WAY OF MECHANICAL WORK LOCATED BEHIND OTHER CONSTRUCTION OR FINISHES, AND REQUIRING ACCESS, AND (3) THOSE ADDITIONAL UNITS IDENTIFIED SUBSEQUENTLY TO THE CONTRACT DATE, BECAUSE OF THE ACTUAL MANNER IN WHICH MECHANICAL WORK WAS INSTALLED. PROVIDE ACCESS PANELS FOR NEW EQUIPMENT CONCEALED BY NEW FINISHES. ACCESS PANELS SHALL BE PROVIDED IN CEILINGS, EXCEPT IN REMOVABLE TILE, AND IN WALLS TO PERMIT ACCESS TO CONCEALED VALVES, ETC. VALVE PANELS SHALL BE 12" BY 12" MINIMUM.

FLOOR, WALL AND CEILING ESCUTCHEONS:
 ESCUTCHEON PLATES SHALL BE INSTALLED ON ALL EXPOSED PIPE PASSING THROUGH WALLS, FLOORS OR CEILINGS. PLATES SHALL BE AS MANUFACTURED BY RITTER PATTERN AND CASTING CO., 120 WATER STREET, NEW YORK, N.Y. OR APPROVED EQUAL. CHROME-PLATED STEEL PLATES WITH SET SCREW AND CONCEALED HINGE.

EQUALS TESTING:
 UPON COMPLETION OF FABRICATION AND BEFORE ENCLOSING, INSULATING OR CONCEALING IN ANY WAY, ALL PIPING MAINS AND JOINTS SHALL BE TESTED FOR LEAKS AT ONE AND ONE-HALF THEIR NORMAL WORKING PRESSURES. BEFORE TESTING PIPING, REMOVE OR OTHERWISE PROTECT FROM DAMAGE ALL SPECIALTIES AND EQUIPMENT NOT DESIGNED TO WITHSTAND TEST PRESSURES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER, IN ADVANCE, OF SCHEDULED TESTS SO THAT THE ARCHITECT OR ENGINEER MAY HAVE A REPRESENTATIVE PRESENT DURING ANY OR ALL TESTS. REPEAT ALL TESTS, AS REQUIRED, TO PROVE SYSTEM TIGHT AND IN PERFECT OPERATING CONDITION. PREPARE REPORT OF RECOMMENDATIONS FOR CORRECTING UNSATISFACTORY MECHANICAL PERFORMANCES WHEN SYSTEM CANNOT BE SUCCESSFULLY BALANCED. INCLUDING, WHERE NECESSARY, MODIFICATIONS WHICH EXCEEDS REQUIREMENTS OF CONTRACT DOCUMENTS FOR PLUMBING WORK. TESTING MAY BE DONE IN SECTIONS TO FACILITATE CONSTRUCTION. IF INSPECTION OR TESTS INDICATE DEFECTS, SUCH DEFECTIVE WORK OR MATERIAL SHALL BE REPLACED AS NECESSARY AND INSPECTION AND TESTS REPEATED. REPAIRS TO PIPING SHALL BE MADE WITH NEW MATERIALS. THE SANITARY, WASTE AND VENTING SYSTEMS, SHALL BE TESTED WHEN COMPLETELY ROUGHED-IN, EXCEPTING FIXTURE TRAPS, BY PLUMBING OR CARPING ALL OUTLETS EXCEPT STACKS ABOVE THE ROOF AND ALL THE ENTIRE SYSTEM WITH WATER. PLUMBER'S TESTING PLUGS SHALL BE USED IN OPENINGS WHERE REQUIRED. TEST SHALL BE PERFORMED USING AIR AT 5 PSIG.

SYSTEM IDENTIFICATION:
 ALL EQUIPMENT SHALL BE IDENTIFIED WITH PERMANENT PHENOLIC NAMEPLATES WITH 1/2" LETTERS. LABEL ALL VALVES WITH 1 1/2" ROUND BRASS TAG SWITCH BLANK PHENOLIC TAG WITH WHITE LETTERS, SECURED WITH BRASS CHAIN. POST A PERMANENT FRAMED VALVE CHART IN THE BOILER ROOM INCLUDING VALVE NUMBER, LOCATION AND VALVE SERVICE (HEATING DOMESTIC COLD ETC.) LABEL ALL PIPING THROUGHOUT THE BUILDING WITH SETON STYLE "B" WRAP AROUND VINYL PIPE LABELS WITH 1" HIGH LETTERS. LABELS SHALL INCLUDE DIRECTION ARROWS AND ZONES SERVED.

PIPE AND FITTINGS:
 HEATING PIPING: HYDRONIC HEATING SYSTEM PIPING SHALL BE TYPE "L" HARD COPPER TUBING WITH WROUGHT COPPER FITTINGS FOR SOLDER FITTING ASSEMBLY.
 ALL SOIL, WASTE AND VENT PIPING SHALL BE ASTM D-1785, AND ASTM D-2685 SCHEDULE 40, PVC-DWV PIPE. FITTINGS SHALL CONFORM TO ASTM D-2685 AND SHALL BE PVC-DWV FITTINGS. ALL JOINTS SHALL BE CUT SQUARE, DE-BURRED, CLEANED AND THEN PRIMED WITH A COLORED SOLVENT BASED PRIMER. USE SOLVENT BASED CEMENT TO WELDED FITTINGS FOLLOWING PRIMER APPLICATION. USE TINTED PRIMER ON ALL FITTINGS.

HOT AND COLD WATER DISTRIBUTION PIPING SHALL BE TYPE "L" HARD TEMPER COPPER TUBING, ASTM B-88. FITTINGS SHALL BE WROUGHT COPPER SOLDER JOINT TYPE. USE SILBERBRITE LEAD-FREE SOLDER WITH SUITABLE FLUX FOR JOINING PIPE AND FITTINGS.
 UNIONS SHALL BE OF THE SAME CLASS AND MATERIAL AS THE PIPE AND FITTINGS OF THE SYSTEM IN WHICH THEY ARE INSTALLED. DIELECTRIC UNIONS: TO PREVENT CORROSION CAUSED BY DISSIMILAR MATERIALS PROVIDE DIELECTRIC UNIONS EQUAL TO WATTS SERIES 3000, WITH MATERIALS TO MATCH PIPING SYSTEM. FLANGED DIELECTRIC FITTINGS SHALL BE EQUAL TO WATTS SERIES 3100 WITH MATERIALS TO MATCH PIPING SYSTEM.

VALVES:
 SHALL BE LEAD-FREE AND MANUFACTURED BY APOLLO, MILWAUKEE OR WATTS. VALVE TYPE AND NUMBERS NOTED HEREIN ESTABLISH STANDARD OF TYPE AND QUALITY. VALVES SHALL HAVE SCREWED ENDS FOR SCREWED PIPING AND SOLDER JOINT ENDS FOR COPPER TUBE PIPING. PROVIDE VALVES FOR SERVICES LISTED BELOW AND OF THE FOLLOWING TYPES.
 BALL VALVES SHALL BE EQUAL TO WATTS NO. LF-B-6000, BRONZE BODY, 600 LB. W.O.G., STAINLESS STEEL BALL AND STEM, EXTENDED HANDLE TO ACCOMMODATE INSULATION THICKNESS, PTFE SEAT AND SEALS, SCREWED ENDS OR LF-B-6001 SWEAT ENDS, VIRGIN PTFE SEATS AND SEALS.
 CHECK VALVES: WATTS SERIES LF-CVS, SOLDER ENDS, SERIES CV SCREWED ENDS, BRONZE BODY, 200 LB. W.O.G.

DRAIN VALVES: WATTS NO. LF-B-6000, BRONZE BODY, STAINLESS STEEL BALL AND STEM, SCREWED ENDS, NO. LF-B-6001 SWEAT ENDS. PROVIDE CAP AND CHAIN, WITH 1/2" I.P.S. TO 3/4" HOSE.
CLEANOUTS:
 FLOOR CLEANOUTS SHALL BE ZURN 1400 SERIES LEVEL-TROL SUPREME CLEANOUTS WITH POLISHED BRONZE TOP. CLEANOUTS SHALL BE SET FLUSH AND LEVEL WITH TOP OF FINISHED FLOOR SURFACE. PROVIDE ANCHOR FLANGES AS REQUIRED FOR MOUNTING IN PRE-CAST CONCRETE SLABS.
 WALL CLEANOUTS SHALL BE BRASS, RECESSED HEAD PLUGS WITH ZURN 2N-1443 ACCESS FRAME AND COVER.

PLUMBING FIXTURES:
 GENERAL REQUIREMENTS: AMERICAN STANDARD PLATE NUMBERS TO ESTABLISH TYPE AND QUALITY OF MATERIALS. ANGLE STOPS, STRAIGHT STOPS, STOPS INTEGRAL WITH THE FAUCETS, OR CONCEALED TYPE OF LOCK SHIELD, WHEEL HANDLE STOPS FOR SUPPLIES SHALL BE FURNISHED AND INSTALLED WITH FIXTURES AS SPECIFIED BELOW. EXPOSED TRAPS AND SUPPLY PIPES FOR ALL FIXTURES AND EQUIPMENT SHALL BE CHROME PLATED AND CONNECTED TO THE ROUGH PIPING SYSTEMS AT THE WALL. WALL ESCUTCHEONS SHALL BE CHROMIUM PLATED OR NICKEL PLATED BRASS WITH POLISHED, BRIGHT SURFACES. FIXTURES SHALL BE EQUAL TO THE AMERICAN STANDARD MODELS SPECIFIED BELOW.

P-1 ACCESSIBLE WATERCLOSET: AMERICAN STANDARD "CADET 3, FLOWISE, RIGHT HEIGHT 16 1/2" HIGH RIM, ELONGATED BOW, 1.28 GPF. SIPHON JET, VITREOUS CHINA, MODEL 2835.128. MOUNT PER ADA REQUIREMENTS. PROVIDE BEWIS MODEL 1955CT OPEN FRONT SEAT WITH COVER. PROVIDE CHROME PLATED WALL SUPPLY WITH WHEEL HANDED STOP AND LEAD FREE BRADED STAINLESS-STEEL WATER SUPPLY CONNECTORS. LOCATE FLUSH HANDLE ON ACCESSIBLE SIDE OF TANK.
P-1A CHILDRENS WATERCLOSET: AMERICAN STANDARD "BABY DEVORO, FLOWISE", ROUND FRONT FLUSH TANK TOILET, 1.28 GPF, SIPHON JET, VITREOUS CHINA, MODEL 2315.228.020 PROVIDE OPEN FRONT SEAT LESS COVER. PROVIDE CHROME PLATED WALL SUPPLY WITH WHEEL HANDED STOP AND LEAD FREE BRADED STAINLESS-STEEL WATER SUPPLY CONNECTORS.
P-2 ACCESSIBLE WALL HUNG LAVATORY: AMERICAN STANDARD "LUCERNE", MODEL 0355.012. WALL HUNG, VITREOUS CHINA WITH ZURN MODEL Z-1253, ADJUSTABLE CONCEALED ARM CARRIER. FAUCET TO BE SYMMONS MODEL S-20-0-1.5, SINGLE HANDLE, CHROME PLATED BRASS FAUCET, WITHOUT POP-UP WASTE ASSEMBLY. PROVIDE CHROME PLATED BRASS GRID DRAIN OFFSET ASSEMBLY. PROVIDE CHROME PLATED WALL SUPPLY WITH WHEEL HANDED STOPS AND LEAD FREE BRADED STAINLESS-STEEL WATER SUPPLY CONNECTORS. PROVIDE TRUEBRO "HANDI-LAV" INSULATION KIT ON ALL EXPOSED PIPING. MOUNT PER ADA REQUIREMENTS UNITS.

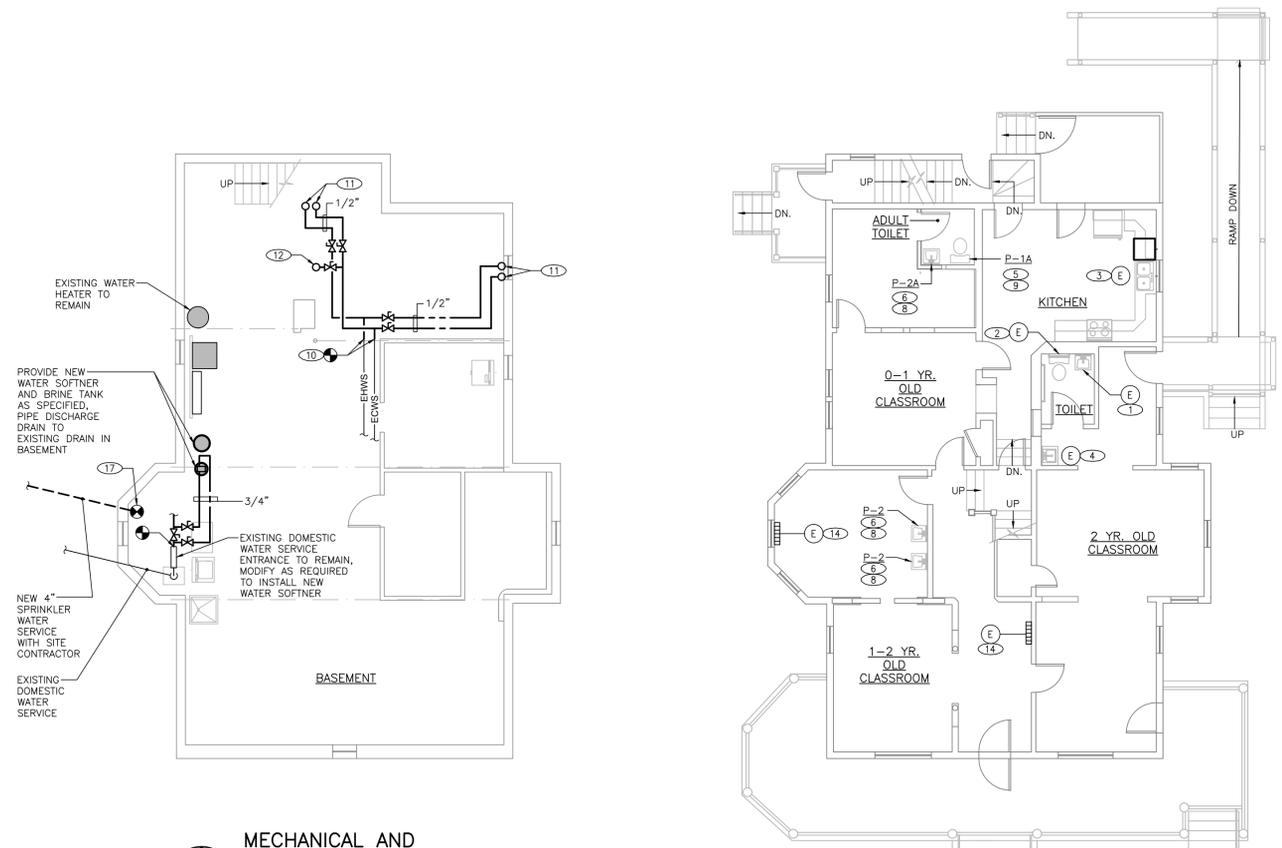
P-2A CHILDRENS WALL HUNG LAVATORY: WALL HUNG LAVATORY TO BE AMERICAN STANDARD "LUCERNE" MODEL 0355.012. MOUNT AT 29" ABOVE FLOOR TO RIM FOR CHILDREN. PROVIDE ALL NECESSARY TRIM. FAUCET TO BE SYMMONS MODEL S-20-0-1.5, SINGLE HANDLE, CHROME PLATED BRASS FAUCET, WITHOUT POP-UP WASTE ASSEMBLY. PROVIDE CHROME PLATED BRASS GRID DRAIN OFFSET ASSEMBLY. PROVIDE ZURN MODEL Z-1253 ADJUSTABLE CONCEALED ARM SUPPORTS. PROVIDE CHROME PLATED WALL SUPPLY WITH WHEEL HANDED STOPS AND LEAD FREE BRADED STAINLESS-STEEL WATER SUPPLY CONNECTORS.
P-3 CHILDRENS SINK: ELKAY MODEL LRAD191855, 19" X 8" X 1 1/2" DEEP, 18 GAUGE TYPE 304 SELF-RIM SINGLE BOWL KITCHEN SINK DRILLED FOR LISTED FAUCET. PROVIDE BASKET STRAINER WITH 1 1/2" TALLPIECE. FAUCET TO BE SYMMONS MODEL S-23-1-5, CHROME SINGLE LEVER HANDLE TYPE WITH SWING SPOUT, 1.5 GPM AERATOR, LESS HAND SPRAY. PROVIDE CHROME PLATED WALL SUPPLIES WITH WHEEL HANDED STOP. MOUNT AT 29" ABOVE FLOOR TO RIM FOR CHILDREN.
P-4 KITCHEN SINK: ELKAY MODEL LR3322, 33" X 22" X 8 1/8" DEEP, 18 GAUGE TYPE 304 SELF-RIM DOUBLE BOWL KITCHEN SINK DRILLED FOR LISTED FAUCET. PROVIDE BASKET STRAINER WITH 1 1/2" TALLPIECE. FAUCET TO BE SYMMONS MODEL S-23-2-1.5, CHROME SINGLE LEVER HANDLE TYPE WITH SWING SPOUT, 1.5 GPM AERATOR AND HAND SPRAY. PROVIDE CHROME PLATED WALL SUPPLIES WITH WHEEL HANDED STOP.

STERILIZATION:
 AFTER COMPLETION ALL NEW DOMESTIC WATER PIPING SYSTEM THE NEW SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE STATE OF VERMONT PLUMBING CODE.
WATER SOFTENER:
 FURNISH AND INSTALL A CULLIGAN CONTROL HEDRO 1.5 60K COMMERCIAL WATER SOFTENER CULLIGAN'S SMART CONTROLLER WITH PROGRAMMING AND MONITORING CAPABILITIES, REGENERATION INITIATION BY COMBINATION OF TIME CLOCK AND FLOW METER. CORROSION RESISTANT POSITIVE MOTOR-DRIVEN REGENERATION VALVE. CORROSION RESISTANT TANK MADE FROM FIBERGLASS REINFORCED POLYESTER. FLOW METER, ELECTRONIC BY-PASS, THE SOFTENER CAN BE BY-PASSED ELECTRONICALLY EITHER FROM THE UNIT OR FROM THE REMOTE MONITOR AND SHALL AUTOMATICALLY GO BACK INTO SERVICE AFTER A PRE-SET TIME. INTERNALLY BLOKED PROGRESSIVE FLOW SYSTEM. TESTED AND CERTIFIED BY WQA AGAINST NSF/ANSI 372, CSA B483.1 AND NSF/ANSI STANDARD 61 FOR MATERIAL REQUIREMENTS. THE CONTROL ENCLOSURE SHALL COMPLY WITH UL 50/50E AND UL 746C STANDARDS FOR A NEMA 3R ENCLOSURE RATING. PROVIDE CULLIGAN 650 POUND BRINE SYSTEM TANK AND (16) 40 POUND BAGS OF SALT. CONTACT EVERETT WOODOVER AT CULLIGAN: PHONE 802-598-4400.

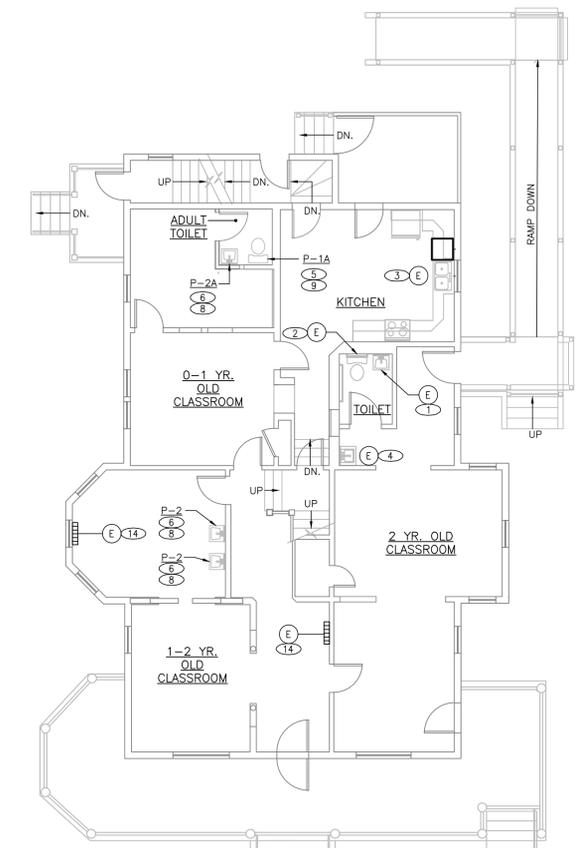
PIPE INSULATION:
 INSULATE DOMESTIC WATER AND HEATING PIPING WITH MANVILLE ASJ FIBERGLASS PIPE INSULATION OR APPROVED EQUAL AS SPECIFIED BELOW. THE INSULATION SHALL HAVE AN AVERAGE THERMAL CONDUCTIVITY NOT TO EXCEED .25 BTU IN PER SQ. FT. PER F, PER HOUR AT A MEAN TEMPERATURE OF 75 DEGREES F. THICKNESS OF THE INSULATION SHALL BE AS SCHEDULED BELOW. JACKET SHALL BE WHITE ASJ. THE INSULATION SHALL BE APPLIED OVER CLEAN DRY PIPE WITH ALL JOINTS FIRMLY TOGETHER. LONGITUDINAL JACKET LAPS AND THE BUTT STRIPS SHALL BE SMOOTHLY SECURED WITH SELF-SEALING LONGITUDINAL LAP JOINTS. PROVIDE 8" LONG, 20 GAUGE GALVANIZED PIPE SADDLES BELOW ALL HANGERS. SEAL ALL JACKETING TO MAINTAIN VAPOR BARRIER USING APPROVED SEALING MASTIC. PROVIDE ZESTON PRE-MOLDED PVC FITTINGS FOR ALL FITTINGS AND VALVES. INSULATE ALL FITTINGS AND VALVES WITH EQUAL VENT FIBER GLASS INSULATION.
 HYDRONIC HEATING PIPING SHALL BE INSULATED WITH 1 1/2" THICK PIPE INSULATION.
 ALL DOMESTIC COLD WATER PIPING SHALL BE INSULATED WITH 1/2" THICK INSULATION.
 ALL DOMESTIC HOT WATER WATER PIPING SHALL BE INSULATED WITH 1" THICK INSULATION.

DRAWING NOTES: (APPLY TO THIS DRAWING ONLY)

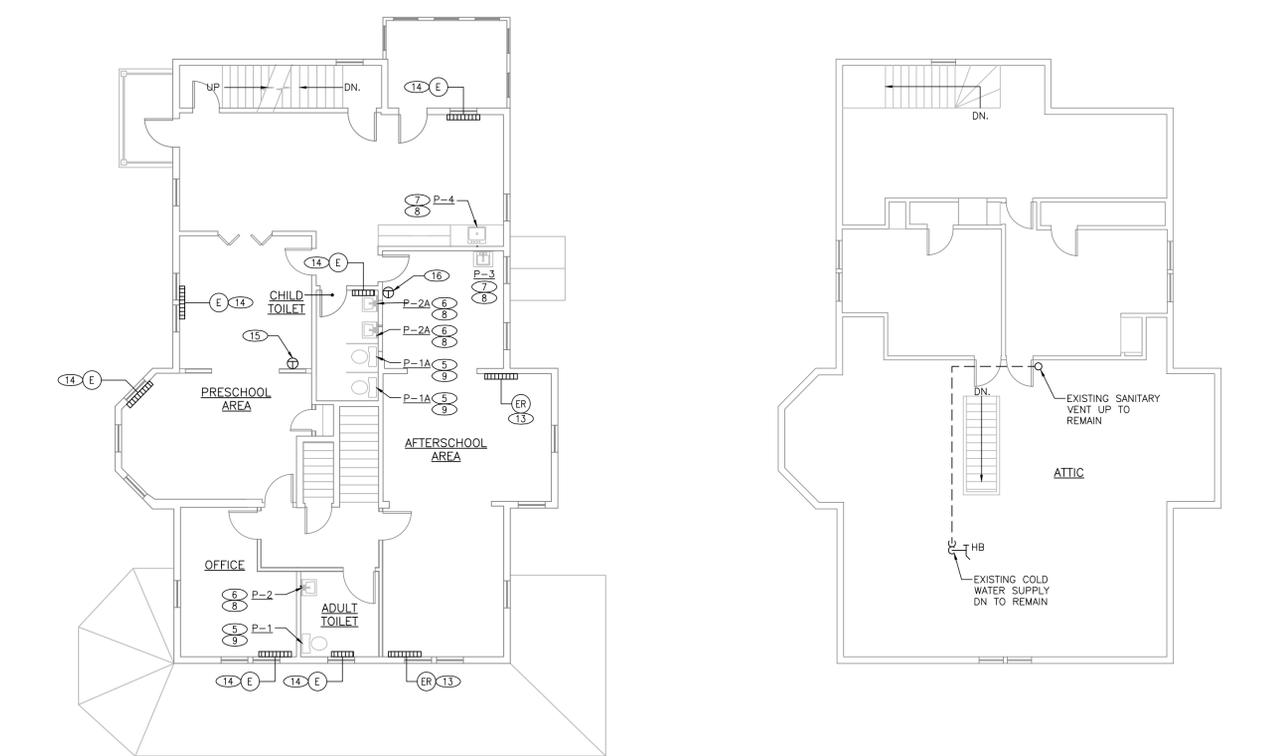
- 1 EXISTING LAVATORY TO REMAIN.
- 2 EXISTING WATER CLOSET TO REMAIN.
- 3 EXISTING KITCHEN SINK TO REMAIN.
- 4 EXISTING HAND SINK TO REMAIN.
- 5 PROVIDE NEW SANITARY WASTE AND VENT PIPING AS REQUIRED TO INSTALL NEW WATER CLOSET. CONNECT TO EXISTING SANITARY WASTE LINE. VERIFY EXACT LOCATION OF LINE IN FIELD.
- 6 PROVIDE NEW SANITARY WASTE AND VENT PIPING AS REQUIRED TO INSTALL NEW LAVATORY. CONNECT TO EXISTING SANITARY WASTE LINE. VERIFY EXACT LOCATION OF LINE IN FIELD. MOUNT LAVATORY TO COMPLY WITH ADA REQUIREMENTS WHERE ACCESSIBLE FIXTURE IS SPECIFIED.
- 7 PROVIDE NEW SANITARY WASTE AND VENT PIPING AS REQUIRED TO INSTALL NEW SINK. CONNECT TO EXISTING SANITARY WASTE LINE. VERIFY EXACT LOCATION OF LINE IN FIELD. MOUNT SINK TO COMPLY WITH ADA REQUIREMENTS WHERE ACCESSIBLE FIXTURE IS SPECIFIED.
- 8 PROVIDE NEW 1/2" HOT AND COLD WATER SUPPLY PIPING FOR NEW PLUMBING FIXTURE. CONNECT TO EXISTING DOMESTIC WATER SUPPLY PIPING. VERIFY EXACT LOCATION OF EXISTING LINES IN FIELD.
- 9 PROVIDE NEW 1/2" COLD WATER SUPPLY PIPING FOR NEW PLUMBING FIXTURE. CONNECT TO EXISTING DOMESTIC WATER SUPPLY PIPING. VERIFY EXACT LOCATION OF EXISTING DOMESTIC WATER SUPPLY LINE IN FIELD.
- 10 CONNECT TO EXISTING HOT AND COLD DOMESTIC WATER MAINS AT CEILING.
- 11 PROVIDE NEW 1/2" HOT AND COLD WATER SUPPLY PIPING UP.
- 12 PROVIDE NEW 1/2" COLD WATER SUPPLY PIPING UP.
- 13 RELOCATE EXISTING HYDRONIC PANEL RADIATOR UNIT. MODIFY EXISTING HOT WATER SUPPLY AND RETURN PIPING AS REQUIRED TO RELOCATE UNIT. VERIFY LOCATION OF BRANCH PIPING IN FIELD. PROVIDE NEW ISOLATION VALVES, CONTROL VALVES AND CONNECT TO EXISTING ROOM THERMOSTAT.
- 14 EXISTING HYDRONIC PANEL RADIATOR UNIT TO REMAIN.
- 15 EXISTING THERMOSTAT RELOCATED. MODIFY EXISTING CONTROLS AND WIRING AS REQUIRED TO RELOCATE.
- 16 EXISTING THERMOSTAT TO REMAIN.
- 17 NEW SPRINKLER SYSTEM WATER SERVICE ENTRANCE WITH BACKFLOW PREVENTER, AND SPRINKLER ALARM VALVE. PROVIDE A COMPLETE SPRINKLER SYSTEM, REFER TO SPRINKLER SPECIFICATION FOR REQUIREMENTS.



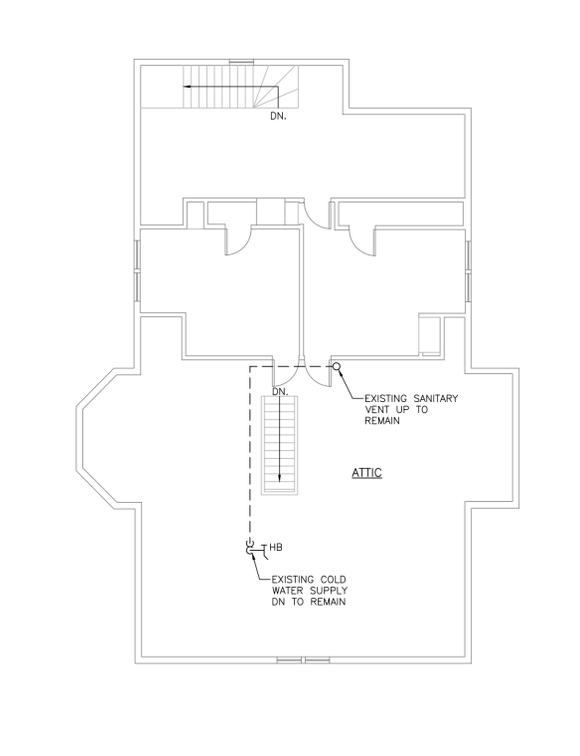
MECHANICAL AND PLUMBING BASEMENT FLOOR PLAN
 SCALE: 1/8"=1'-0"



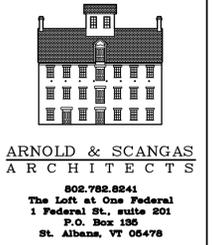
MECHANICAL AND PLUMBING FIRST FLOOR PLAN
 SCALE: 1/8"=1'-0"



MECHANICAL AND PLUMBING SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0"



MECHANICAL AND PLUMBING ATTIC FLOOR PLAN
 SCALE: 1/8"=1'-0"



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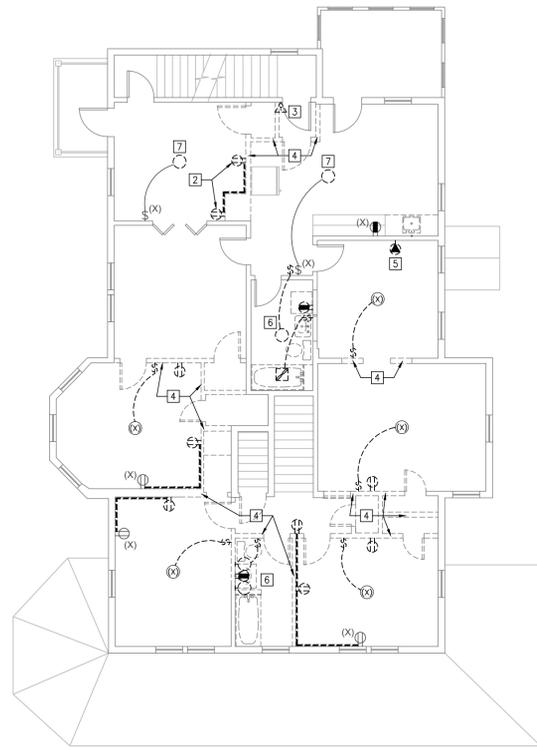
ELECTRICAL/MECHANICAL:
ENGINEERING SERVICES OF VERMONT
 9 Washington Street
 Rutland, Vermont 05701
 802-855-8091

ALMOND BLOSSOMS SCHOOLHOUSE
 235 LAKE STREET
 ST. ALBANS, VERMONT

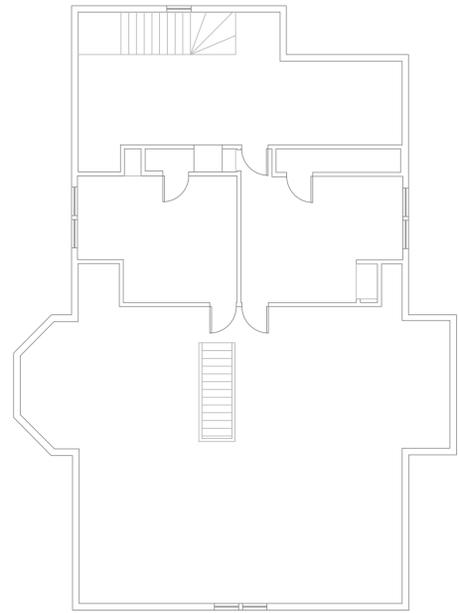
DRAWING TITLE:
 MECHANICAL AND PLUMBING FLOOR PLANS

DRAWN BY: SEF
DATE: 05-18-2020
SCALE: AS NOTED
DRAWING NO.:
MP2

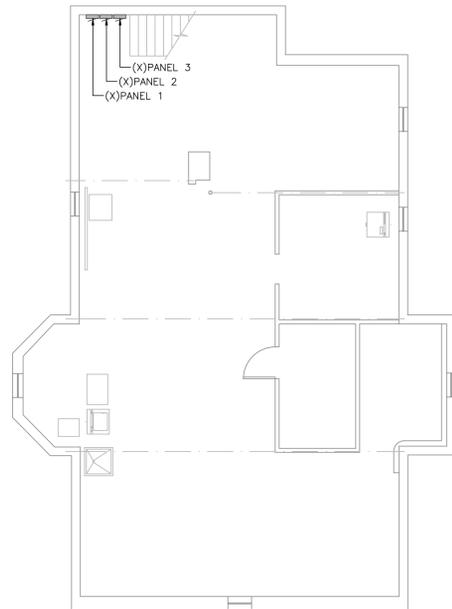
PROJECT NO.: 19185
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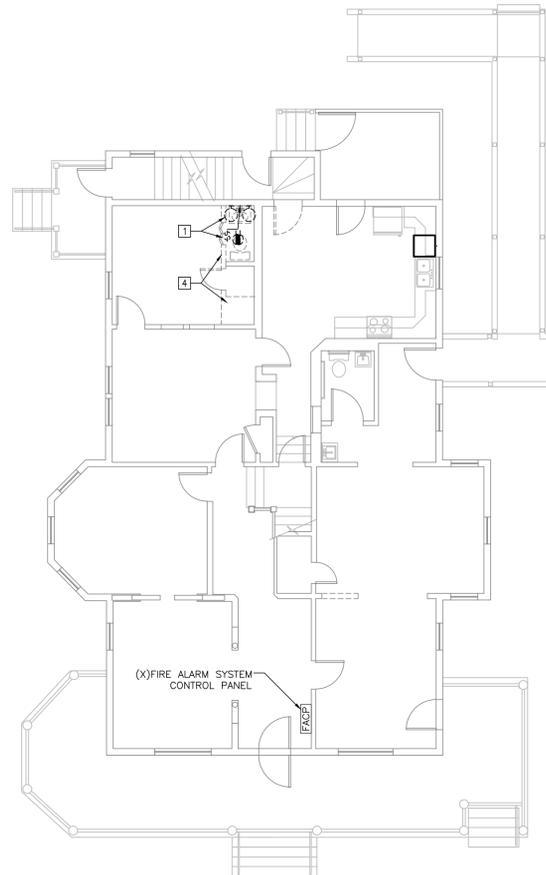
ELECTRICAL SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8"=1'-0"



ELECTRICAL ATTIC DEMOLITION PLAN
SCALE: 1/8"=1'-0"



ELECTRICAL BASEMENT DEMOLITION PLAN
SCALE: 1/8"=1'-0"



ELECTRICAL FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8"=1'-0"

GENERAL DEMOLITION NOTES:

- THESE DEMOLITION NOTES APPLY TO ALL DEMOLITION REQUIRED OF THIS PROJECT AND AS GENERALLY INDICATED ON THE DEMOLITION AND CONSTRUCTION DRAWINGS.
- ITEMS INDICATED AS EXISTING TO REMAIN ARE SHOWN FOR INFORMATIONAL PURPOSES, ONLY.
- DEMOLITION AND RELOCATION WORK INDICATED ON THE DRAWINGS IS BASED UPON THE BEST AVAILABLE INFORMATION AS TO THE LOCATION, SIZE AND IDENTIFICATION OF THE EXISTING ELECTRICAL EQUIPMENT, PANELBOARDS, LUMINAIRES, DEVICES AND CIRCUITING. THE ELECTRICAL CONTRACTOR SHALL WALK THROUGH THE DEMOLITION AREAS TO IDENTIFY THE EXACT LOCATION AND ELECTRICAL WORK INVOLVED PRIOR TO BIDDING. MAJOR DEVIATIONS FOUND SHALL BE REPORTED TO THE ENGINEER.
- REMOVE ALL LUMINAIRES, DEVICES, WIRING AND CONDUIT ON THE WALLS AND CEILINGS TO BE DEMOLISHED. WIRING AND CONDUIT SHALL BE REMOVED TO THE LAST LIVE OUTLET TO REMAIN OR ALL THE WAY TO THE SOURCE, AS NOTED. REROUTE WIRING AND CONDUITS THAT ARE TO MAINTAIN POWER TO EXISTING DEVICES AND EQUIPMENT TO REMAIN.
- THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY ALL THE ELECTRICAL DEMOLITION WORK. EXTENT OF PROJECT DEMOLITION IS GENERALLY AS INDICATED ON THIS DEMOLITION DRAWING.
- THE ELECTRICAL CONTRACTOR SHALL REVIEW MATERIAL AND EQUIPMENT TO BE SALVAGED AT THE BEGINNING OF THE PROJECT (IF ANY) WITH THE OWNER AND GENERAL CONTRACTOR. IN GENERAL, ALL MATERIAL NOT REQUESTED TO BE SALVAGED BY THE OWNER SHALL BECOME THE PROPERTY OF THE ELECTRICAL CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR THE PROPER ENVIRONMENTAL DISPOSAL OF THESE MATERIALS.
- REWORKING EXISTING CIRCUITS, CONNECTING TO EXISTING CIRCUITS OR EXTENDING EXISTING CIRCUITS SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY. ALL PANELBOARDS, SWITCHES, RECEPTACLES, DEVICES, ETC., TO BE USED, WHETHER SHOWN OR NOT SHOWN, SHALL BE TO THE DISCRETION OF THE ELECTRICAL CONTRACTOR AND HIS RESPONSIBILITY TO FIELD VERIFY. MAJOR DEVIATIONS SHALL BE REPORTED TO THE ENGINEER.

DEMOLITION DRAWING NOTES:

- DISCONNECT AND REMOVE WALL LUMINAIRES, SWITCH AND RECEPTACLE. RETAIN CIRCUIT WIRING FOR REUSE.
- DISCONNECT AND REMOVE EXISTING RECEPTACLES AND ASSOCIATED SURFACE RACEWAY. REMOVE WIRING BACK TO SOURCE OR LAST LIVE OUTLET TO REMAIN.
- REMOVE TELEPHONE JACK DEVICE AND ASSOCIATED WIRING BACK TO SOURCE OR LAST LIVE OUTLET TO REMAIN.
- DISCONNECT AND REMOVE POWER DEVICES, TELEPHONE JACKS AND SIMILAR AS WELL AS ALL ASSOCIATED WIRING BACK TO SOURCE OR TO LAST LIVE OUTLET TO REMAIN TO ALLOW FOR WALL DEMOLITION.
- DISCONNECT AND REMOVE EXISTING 50A2P RANGE RECEPTACLE AND ASSOCIATED WIRING BACK TO SOURCE.
- DISCONNECT AND REMOVE LUMINAIRES, DEVICES AND CONNECTIONS TO EXHAUST FAN FROM THE EXISTING BATHROOM. RETAIN CIRCUITS FOR REUSE.
- REMOVE EXISTING LUMINAIRE TO ALLOW FOR ITS REPLACEMENT.

ELECTRICAL SPECIFICATION:

- THIS ELECTRICAL SPECIFICATION APPLIES TO ALL ELECTRICAL WORK INDICATED AND INCLUDED WITH THIS SET OF CONSTRUCTION DRAWINGS.
- WORK COVERED SHALL CONSIST OF FURNISHING ALL LABOR, EQUIPMENT, SUPPLIES AND MATERIAL REQUIRED TO PERFORM ALL OPERATIONS NECESSARY FOR THE INSTALLATION OF COMPLETE AND OPERATING ELECTRICAL SYSTEMS.
- THE FOLLOWING CODES AND STANDARDS SHALL APPLY:
 - THE 2015 VERMONT FIRE & BUILDING SAFETY CODE
 - 2015 NFPA 1 (NATIONAL FIRE CODE) WITH VERMONT AMENDMENTS
 - 2015 NFPA 101 (LIFE SAFETY CODE) WITH VERMONT AMENDMENTS
 - 2015 IBC (INTERNATIONAL BUILDING CODE) WITH VERMONT AMENDMENTS
 - 2015 CBES VERMONT COMMERCIAL BUILDING ENERGY CODE.
 - 2017 NFPA 70 (NATIONAL ELECTRICAL CODE) WITH VERMONT AMENDMENTS
- THE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE CODES, SPECIFICATIONS, STATE LAWS, LOCAL MUNICIPAL ORDINANCES, INDUSTRY STANDARDS AND UTILITY COMPANY REGULATIONS, AS APPLICABLE.
- BIDDERS SHALL VISIT THE PREMISES AND ASCERTAIN EXISTING CONDITIONS BEFORE SUBMITTING A BID, AS NO EXTRAS WILL BE ALLOWED FOR LACK OF KNOWLEDGE OF THESE CONDITIONS.
- WARRANTY:
 - ALL MATERIALS AND EQUIPMENT SHALL BE NEW UNLESS OTHERWISE SPECIFIED.
 - THIS CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP, MATERIAL AND EQUIPMENT AND REPLACE ANY OF IT FOUND DEFECTIVE, WITHOUT COST TO THE OWNER, FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE OF THE INSTALLATION BY THE OWNER.
- ALL PERMITS, FEES, LICENSES AND INSPECTIONS FOR THE ELECTRICAL CONSTRUCTION WORK OF THIS PROJECT SHALL BE PAID FOR BY THIS CONTRACTOR.
- THIS CONTRACTOR SHALL COORDINATE NEW SERVICES TO THE BUILDING FOR POWER AND TELECOMMUNICATIONS DIRECTLY WITH THE UTILITIES. UTILITY FEES SHALL BE PAID BY THE OWNER.
- WHERE THERE ARE EXISTING FACILITIES, THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION THEREOF. RENOVATED AREAS SHALL HAVE CIRCUITS REWORKED AS INDICATED. UNUSED CONDUCTORS SHALL BE DISCONNECTED AT THE NEAREST SUPPLY AND REMOVED WITH RACEWAY. LIGHTING FIXTURES AND OTHER SALVAGE SHALL REMAIN THE PROPERTY OF THE OWNER OR AS OTHERWISE DIRECTED.
- THE BUILDING WILL REMAIN OCCUPIED DURING CONSTRUCTION AND THE WORK OF THIS PROJECT WILL HAVE TO BE PERFORMED TO ACCOMMODATE THE OCCUPANTS.
- SUBMITTALS: FURNISH PRODUCT DATA AND SHOP DRAWINGS FOR REVIEW BY THE ENGINEER PRIOR TO INSTALLATION FOR THE FOLLOWING:
 - LUMINAIRES
 - WIRING DEVICES AND COVERS
 - ANY ITEM IDENTIFIED IN NOTES TO BE SUBMITTED FOR APPROVAL
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL ELECTRICAL WIRING AND EQUIPMENT SUPPORTS UNLESS OTHERWISE NOTED. THIS CONTRACTOR SHALL FURNISH ALL HANGERS, ANCHORS, BRACING GUIDES, ETC. FOR THE VARIOUS CONDUIT SYSTEMS.
- EACH PHASE CONDUCTOR SHALL BE IDENTIFIED BY COLOR-CODE IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS AND TO MATCH EXISTING CONDITIONS. EDIT PANEL DIRECTORIES TO COMPLETELY AND ACCURATELY REFLECT THE WORK OF THIS PROJECT; NEATLY EDIT EXISTING TO MATCH OR PROVIDE NEW.

120/240 VOLT
LINE 1 = BLACK
LINE 2 = RED
NEUTRAL = WHITE
GROUND = GREEN
- PROVIDE LABELING OF EQUIPMENT AS INDICATED ON PLANS. PROVIDE WEATHER AND SUN RESISTANT STICKER TYPE LABELS.
- BASIC METHODS:
 - GENERAL
 - PROVIDE WIRING METHODS AS PER GENERAL NOTES.
 - PROVIDE AN INSULATED EQUIPMENT GROUND CONDUCTOR IN ALL RACEWAYS AND BOXES.
 - GROUNDING SYSTEM: THE GROUNDING SHALL COMPLY WITH THE NEC ARTICLES 250, 430 AND 440 AS THEY APPLY. PROVIDE LABELING OF CIRCUIT CONDUCTORS IN ALL JUNCTION BOXES.
 - ELECTRICAL DEMOLITION: PROVIDE ELECTRICAL DEMOLITION AS IDENTIFIED ON THE DEMOLITION PLANS AND IN THE DEMOLITION NOTES.
 - FIRE ALARM SYSTEM: THIS CONTRACTOR SHALL CARRY A LINE ITEM ALLOWANCE OF \$5,500 IN THEIR BID FOR FIRE ALARM SYSTEM WORK THAT SHALL BE PERFORMED BY THE OWNER'S VENDOR, FIELDS ELECTRIC.
- FIRE ALARM SYSTEM WORK AND EXISTING DEVICES ARE NOT INDICATED ON THESE DRAWINGS, EXCEPT FOR LOCATION OF EXISTING FIRE ALARM SYSTEM CONTROL PANEL.
- BASIC MATERIALS:
 - DUPLEX RECEPTACLES SHALL BE COMMERCIAL GRADE 5-20R, 20 AMP 125V, TAMPER PROOF.
 - DEVICES SHALL BE BLACK WITH MATCHING HIGH-IMPACT THERMOPLASTIC PLATES, UNLESS OTHERWISE DIRECTED BY THE ARCHITECT.
 - WEATHER PROOF DEVICE COVERS SHALL BE METALLIC, "WHILE-IN-USE" TYPE.

ELECTRICAL LEGEND:

- (A) LETTER IN LUMINAIRE SYMBOL INDICATES LUMINAIRE TYPE AND MOUNTING
- (B) CEILING MOUNT LIGHTING OUTLET, TYPE AS INDICATED
- (C) WALL MOUNT LUMINAIRE OUTLET, TYPE AS INDICATED
- \$ MANUAL SINGLE POLE LIGHTING SWITCH; 3 = 3 WAY, OC = OCCUPANCY SENSOR, PIR = PASSIVE INFRARED; DT = DUAL TECHNOLOGY; D = DIMMING; LV = LOW VOLTAGE, P = SWITCH WITH PILOT, K = KEYED SWITCH
- ⊕ DUPLEX RECEPTACLE OUTLET
- ⊖ GROUND FAULT PROTECTION RECEPTACLE OUTLET
- ⊙ SPECIAL OUTLET (AS NOTED ON PLANS)
- ⊙ JUNCTION BOX
- HOMERUN TO PANEL INDICATED
- BRANCH CIRCUIT OR FEEDER WIRING
- UNDERGROUND WIRING
- [FACP] FIRE ALARM CONTROL PANEL
- ▽ TELEPHONE DEVICE OUTLET
- AFF, AFG, AFR ABOVE FINISH FLOOR, GRADE, ROOF
- WP WEATHERPROOF WITH COVER "CLOSED" FOR RECEPTACLES; NEMA 3R FOR ENCLOSURES
- AC ABOVE COUNTER
- CM CEILING MOUNTED
- TYP TYPICAL
- NTS NOT TO SCALE
- UNON UNLESS OTHERWISE NOTED
- (X) EXISTING, TO REMAIN
- (RX) REMOVE EXISTING
- (RR) REMOVE, RELOCATE
- (R) RELOCATED
- (N) NEW
- (F) FUTURE
- ⊕ MECHANICAL EQUIPMENT CONNECTION
- ⊖ BUILDING EQUIPMENT CONNECTION



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235 LAKE STREET
ST. ALBANS, VERMONT

DRAWING TITLE:
ELECTRICAL DEMOLITION PLANS

DRAWN BY: CPB
DATE: 05-18-2020
SCALE: AS NOTED
DRAWING NO:

E1

PROJECT NO: 19185
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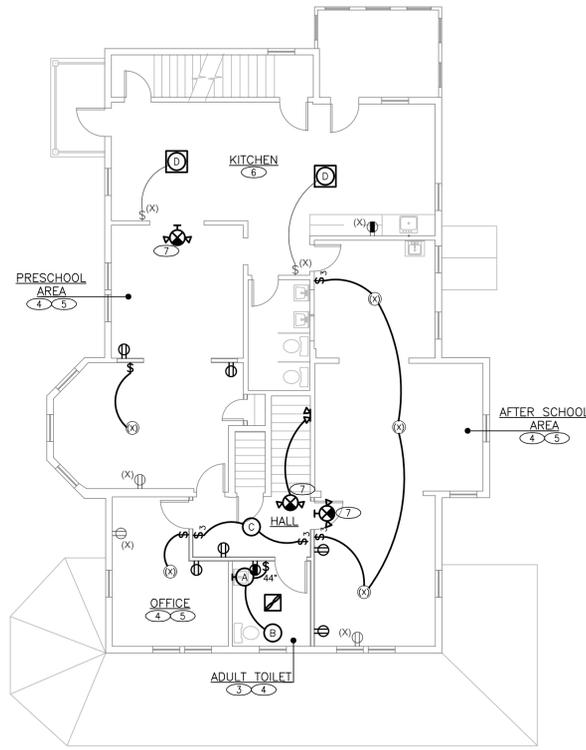
LUMINAIRE SCHEDULE						
KEY	DESCRIPTION AND FINISH	MOUNTING	MANUFACTURER	SERIES OR TYPE (NOT A COMPLETE CAT. #)	VOLT/WATT	LAMP(S)
A ④	VANITY LUMINAIRE, THREE LIGHT (LAMP HOLDERS) WITH FROSTED GLASS CYLINDERS, POLISHED NICKEL FINISH.	WALL SURFACE ⑬	HUDSON VALLEY LIGHTING	H-239303	120V 21W	LED A19 8.5 WATT 800 LUMEN 11,000 HOURS 80 CRI 3,000K CCT 60W EQUIVALENT ENERGY STAR
B ⑥	5" ROUND SHALLOW LED DOWNLIGHT LUMINAIRE, MOLDED PLASTIC FULL CUT-OFF FLANGE, APPLIED WHITE FINISH, HIGH TRANSMITTANCE LENS. ENERGY STAR LISTED.	CEILING SURFACE	PHILIPS LIGHTOLIER	SLMSURFACE SSR 8 30K 7	120V 10W	LED, FURNISHED WITH LUMINAIRE 650 LUMEN 50,000 HRS LM70 80 CRI 3,000K CCT
C ⑦	7" ROUND SHALLOW LED DOWNLIGHT LUMINAIRE, MOLDED PLASTIC FULL CUT-OFF FLANGE, APPLIED WHITE FINISH, HIGH TRANSMITTANCE LENS. ENERGY STAR LISTED.	CEILING SURFACE	PHILIPS LIGHTOLIER	SLMSURFACE S7R 8 30K 10	120V 15W	LED, FURNISHED WITH LUMINAIRE 1,000 LUMEN 50,000 HRS LM70 80 CRI 3,000K CCT
D ⑩	LED SURFACE MOUNT FLAT EDGE LIT PANEL LUMINAIRE, 24" x 24" x 1.25", WHITE EXTRUDED ALUMINUM FRAME, FROSTED LENS, WIDE DISTRIBUTION; DESIGN LIGHTS CONSORTIUM LISTED.	CEILING SURFACE	TRULY GREEN SOLUTIONS	THINTEK G2 88 22 40 30 T F 80CRI SK	120V 40W	LED, FURNISHED WITH LUMINAIRE 4,440 LUMEN 50,000 HRS LM70 80 CRI 3,000K CCT
E ⑫	COMBINATION EMERGENCY/EXIT LUMINAIRE, WHITE THERMOPLASTIC HOUSING, RED LED LETTERS, TWO LED EMERGENCY LIGHTING HEADS AND INTEGRAL BATTERY FOR 90 MINUTE SELF-POWERED OPERATION WITH TEST SWITCH. PROVIDE BATTERY OUTPUT TO OPERATE TWIN REMOTE HEADS.	CEILING OR WALL ⑬	DUAL-LITE	EVC	120V 12W	LED; PROVIDED INTEGRAL TO LUMINAIRE
F ⑬	EMERGENCY REMOTE LUMINAIRE WITH TWO LED LIGHTING HEADS; DIE CAST ALUMINUM HOUSING, SEALED AND GASKETED FOR OUTDOOR INSTALLATION. WHITE HOUSING INTERIOR, BLACK HOUSING EXTERIOR. PROVIDE VOLTAGE TO MATCH BATTERIES POWERING LAMPS.	⑬	DUAL-LITE	EVO-D (EXTERIOR)	4.8V DC 2W	LED LAMP HEADS PROVIDED INTEGRAL TO LUMINAIRE

LUMINAIRE SCHEDULE KEYED NOTES:

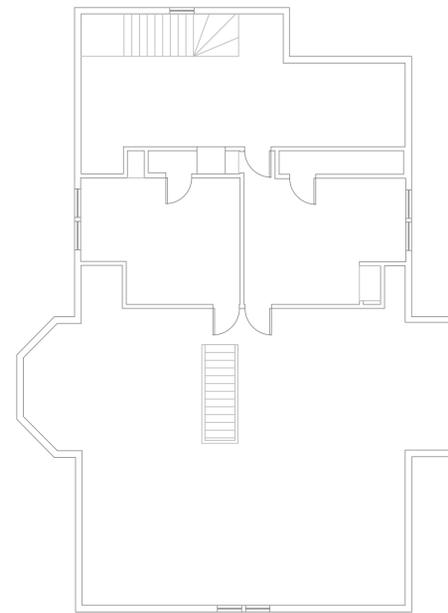
⑬ WHERE LUMINAIRE IS MOUNTED ABOVE THE VANITY, CENTER ON VANITY, 6" ABOVE TOP OF MIRROR.

⑬ WHERE LUMINAIRE IS INDICATED WALL MOUNTED ABOVE THE VANITY, CENTER ON VANITY, 6" ABOVE TOP OF MIRROR.

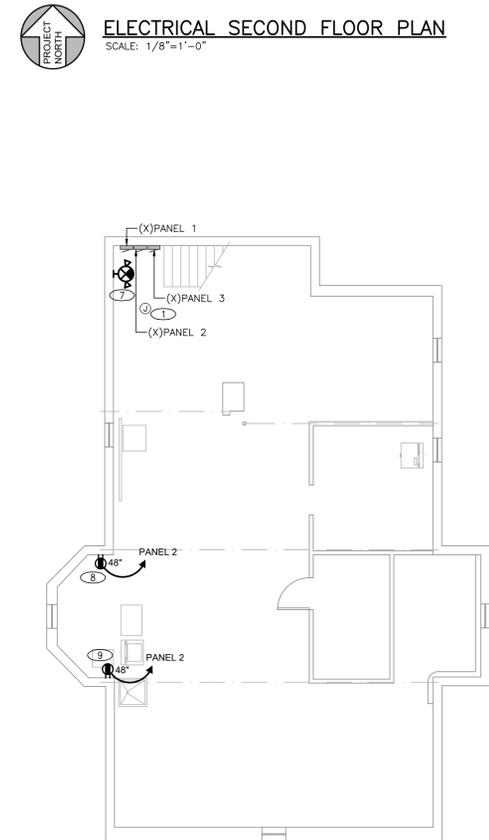
⑬ PROVIDE LUMINAIRE WITH INTEGRAL SELF-TEST/SELF-DIAGNOSTIC SYSTEM. SYSTEM SHALL MONITOR LAMP/LED STATUS, LOAD TRANSFER CIRCUIT, BATTERY CAPACITY AND CHARGING FUNCTION. ANY FAULT DETECTED SHALL BE DISPLAYED BY MEANS OF A FLASHING CODE LIGHT.



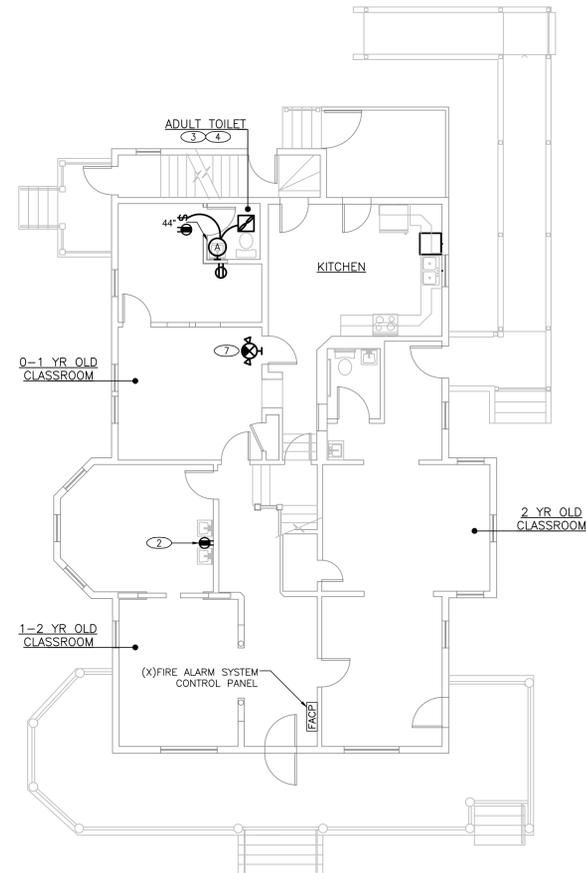
ELECTRICAL SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



ELECTRICAL ATTIC PLAN
SCALE: 1/8"=1'-0"



ELECTRICAL BASEMENT PLAN
SCALE: 1/8"=1'-0"



ELECTRICAL FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL ELECTRICAL PLAN DRAWINGS.
- FOLLOW ALL APPLICABLE CODES AND USE GOOD ELECTRICAL CONSTRUCTION PRACTICES WHEN DETERMINING TYPES OF WIRING METHODS AND SIZING OF CONDUCTORS AND CONDUIT. INSTALL ALL POWER, CONTROL AND SIGNAL WIRING USING METHODS AS FOLLOWS:
 - INACCESSIBLE CONCEALED FEEDER AND BRANCH CIRCUIT WIRING: MULTI-CONDUCTOR TYPE NM (NON-METALLIC SHEATHED) CABLE.
 - EXPOSED BRANCH CIRCUITS (BASEMENT, ATTIC): MULTI-CONDUCTOR TYPE NM (NON-METALLIC SHEATHED) CABLE.
 - CONTRACTOR SHALL CONSULT WITH ENGINEER REGARDING QUESTIONS REGARDING WIRING METHODS PRIOR TO ROUGH-IN OF WIRING
 - MINIMUM CONDUCTOR SIZE SHALL BE 12 AWG. PROVIDE AN INSULATED GROUND CONDUCTOR WITHIN ALL CABLES AND RACEWAYS. ALL CONDUCTORS SHALL BE COPPER, UNLESS OTHERWISE NOTED.
 - CIRCUITS SHALL BE 20A1P, (2#12, 1#12G) 1/2" C. OR CABLE, UNLESS INDICATED OTHERWISE.
 - ALL WIRING SHALL BE ROUTED CONCEALED AND DEVICES SHALL BE FLUSH/RECESSED MOUNTED TO THE GREATEST EXTENT POSSIBLE. WIRING IN THE UTILITY SPACES SHALL BE PERMITTED TO BE EXPOSED WHERE NO WALL FINISH EXISTS. WIRING ROUTED EXPOSED ON VERTICAL SURFACES SHALL BE ROUTED VERTICALLY; HORIZONTAL WIRING SHALL BE ROUTED AT THE CEILING LEVEL OF THESE SPACES, NOT ON THE WALLS.
 - MOUNT LIGHTING CONTROL SWITCHES 44" ABOVE FINISHED FLOOR, WITHIN 6" OF THE LATCH SIDE OF THE DOOR, UNLESS OTHERWISE INDICATED. "AC" INDICATES MOUNTING 8" ABOVE COUNTER BACK SPLASH, APPROXIMATELY 44" ABOVE FINISHED FLOOR.
 - LIFE SAFETY LUMINAIRES (EXIT SIGNS, EMERGENCY BATTERY UNITS) SHALL BE CONNECTED TO THE UNSWITCHED PORTION OF THE LIGHTING CIRCUIT SERVING THE AREA, AHEAD OF ANY SWITCHING OR AUTOMATIC CONTROLS.
 - ALL LIGHTING LAYOUTS SHALL BE COORDINATED WITH ARCHITECT'S REFLECTED CEILING PLANS AND EXACT LOCATION OF LUMINAIRES SHALL BE CHECKED AT CONSTRUCTION TIME AND PRIOR TO INSTALLATION WITH OTHER TRADE'S LATEST DRAWINGS AND EQUIPMENT LAYOUTS. FINAL LOCATION OF LUMINAIRES SHALL BE REASONABLY CONCLUSIVE TO ACCESS BY THE OWNER FOR ROUTINE MAINTENANCE.
 - MOUNT RECEPTACLE DEVICES 18" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED. MOUNT RECEPTACLE DEVICES SUCH THAT THEY ARE ORIENTED SO THE GROUND IS IN THE "UP" POSITION. "AC" INDICATES MOUNTING 8" OVER COUNTER BACK SPLASH, APPROXIMATELY 44" ABOVE FINISHED FLOOR. **ALL RECEPTACLES SHALL BE TAMPER PROOF STYLE.**
 - ALL FIRE ALARM WORK IS TO BE PERFORMED BY THE OWNER'S VENDOR AND IS NOT INDICATED ON THESE PLANS. REFER TO SPECIFICATION FOR ADDITIONAL, RELATED INFORMATION.

DRAWING NOTES:

- PROVIDE COVER FOR JUNCTION BOX WHERE SINGLE STATION SMOKE DETECTOR HAS BEEN REMOVED.
- REPLACE EXISTING RECEPTACLE.
- CONNECT NEW LIGHTING TO THE EXISTING LIGHTING CIRCUIT SERVING THE AREA.
- CONNECT NEW RECEPTACLES TO EXISTING RECEPTACLE CIRCUIT SERVING THE AREA.
- PROVIDE LIGHTING CONTROL SWITCH AND SWITCH LEG AS INDICATED.
- REPLACE LUMINAIRES WITH NEW.
- CONNECT EXIT AND/OR EMERGENCY LIGHT TO THE UNSWITCHED PORTION OF THE LOCAL LIGHTING CIRCUIT.
- PROVIDE A GFCI DUPLEX RECEPTACLE FOR THE WATER CONDITIONING SYSTEM ON A DEDICATED 20A1P CIRCUIT. PROVIDE NEW CIRCUIT BREAKER IN EXISTING CHALLENGER LOAD CENTER; EDIT DIRECTORY ACCORDINGLY.
- PROVIDE A GFCI DUPLEX RECEPTACLE FOR THE CLOTHES WASHER ON A DEDICATED 20A1P CIRCUIT. PROVIDE NEW CIRCUIT BREAKER IN EXISTING CHALLENGER LOAD CENTER; EDIT DIRECTORY ACCORDINGLY.



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DRAWING TITLE:

ELECTRICAL PLANS

DRAWN BY: CPB
DATE: 05-18-2020
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DRAWING NO:

E2

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